



CITY OF SOMERVILLE, MASSACHUSETTS
MAYOR'S OFFICE OF STRATEGIC PLANNING & COMMUNITY DEVELOPMENT
JOSEPH A. CURTATONE
MAYOR

HISTORIC PRESERVATION COMMISSION

KRISTENNA CHASE, *PRESERVATION PLANNER*
SARAH WHITE, *PLANNER & PRESERVATION PLANNER*

Case #: HPC 2017.093
Date: November 28, 2017

Recommendation: Conditional Approval

PRESERVATION STAFF REPORT

Site: 59 Cross Street

Applicant Name: Somerville Hispanic Association for Community Development

Applicant Address: 59 Cross Street

Owner Name: same as above

Owner Address: same as above

Agent: Sammy Jimenez

Petition: Somerville Hispanic Association for Community Development, Owner, seeks permission from the Somerville Historic Preservation Commission (HPC) to alter north side entry and walkway to meet ADA requirements.

HPC Hearing Date: November 28, 2017

I. PROJECT DESCRIPTION

1. **Subject Property:** The subject church building is located on a local arterial across the street from the East Somerville Community School. See Form B for details.
2. **Proposal:** The Applicant proposes to alter north side entry and walkway to meet ADA requirements. They also plan extensive repairs to the envelope of the building which includes the slate roofs and gutter systems as well as replacing mismatched bricks on flat arches over windows of the apse. See attached plans for details.



59 Cross Street – 2011 photo



To meet the ADA requirements the steps up to the path from the sidewalk will be removed. The pathway will slope down to meet the side entry of the apse basement. The pathway will fork and skirt around the apse entry area to meet the existing north entry to the nave. Steps will be added to the pathway at the fork to bring the entries into alignment.

II. FINDINGS FOR ADA ACCESS

Americans with Disabilities Act

Places of public accommodation are required to provide access to their services and programs under provisions of the Americans with Disabilities Act. In the case of historic buildings, some provision for using alternative measures exists if the property is historically or architecturally significant enough to merit such treatment. When changes to a building or site are necessary, careful consideration must be given to how the changes can be incorporated without compromising the integrity of the historic building, its character defining features, or its site.

GUIDELINES

1. Provide barrier-free access that promotes independence for the disabled to the highest degree practicable, while preserving significant historic features.
2. The appearance of accessibility ramps or elevators should not significantly detract from the historic character of the structure.
3. If the addition of accessibility improvements negatively impacts significant historic elements, these improvements should be designed to be reversible.

The ADA requires barrier removal in historic buildings, if it is readily achievable. Barrier removal would not be considered "readily achievable" if it would threaten or destroy the historic significance of a building or facility that is eligible for listing in the National Register of Historic Places under the National Historic Preservation Act (16 U.S.C. 470, et seq.), or is designated as historic under State or local law.

Staff Findings: Staff finds that the planned walkway meets guidelines for ADA accessibility and does not significantly detract from the historic character of the church building.

III. RECOMMENDATION

Based on the information provided and an assessment of the proposal against the Somerville LHD guidelines, Staff recommends A Certificate of Appropriateness for the new ADA ramps and entry with the following conditions:

1. All appropriate building permits shall be obtained prior to the start of any work.
2. If changes are necessary to the proposed design for which this Certificate of Appropriateness was issued, new plans shall be submitted to Historic Staff prior to commencing the work.
3. The ramps, steps and entry shall be constructed as found on the plans by Spencer and Vogt Group D100, D101, A100, A101 and A500 dated 2017.11.8 for Project Number 1705.00 and plans by DMLA for Spencer and Vogt Group L-101, L-201 and L202 dated 2017.11.1 for Project Number 1711.
4. Historic Staff shall issue a sign-off upon completion of the project that this was done in accordance with the Certificate and approved plans.

A Certificate of Non-Applicability shall be issued for the extensive repairs and maintenance in kind.



Massachusetts Cultural Resource Information System

Scanned Record Cover Page

Inventory No:	SMV.316
Historic Name:	Grace Baptist Church
Common Name:	Perkins Street Baptist Church
Address:	59 Cross St
City/Town:	Somerville
Village/Neighborhood:	East Somerville
Local No:	
Year Constructed:	
Architect(s):	Bridge, Edward Melville
Architectural Style(s):	Romanesque Revival
Use(s):	Church; Other Religious
Significance:	Architecture; Religion
Area(s):	SMV.BA: Somerville Single Building Local Historic District
Designation(s):	Local Historic District (10/31/1989)
Building Materials(s):	Wall: Brick; Stone, Cut



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Commonwealth of Massachusetts
Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125
www.sec.state.ma.us/mhc

This file was accessed on:

Monday, June 29, 2015 at 10:00 AM

FORM B - BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
80 BOYLSTON STREET

Pl. East
USGS BOSTON
SET B

AREA

FORM NO.

East
Somerville

316

Town SOMERVILLE

Address 59 Cross Street

Historic Name Grace Baptist Church

formerly Perkins St. Baptist Church

Use: Present religious/social serv

Original religious

DESCRIPTION

Date 1892

Source Samuels / oral history

Style Romanesque Revival

Architect Edmund Miller Bridge

Exterior Wall Fabric brick

Outbuildings

Major Alterations (with dates)

Condition good

Moved Date

Acreage 20,065 sq. ft.

Setting West side of Cross, near

Pearl, edge of East Somerville, mixed

surrounds, residential, commercial

Recorded by

Organization

Date

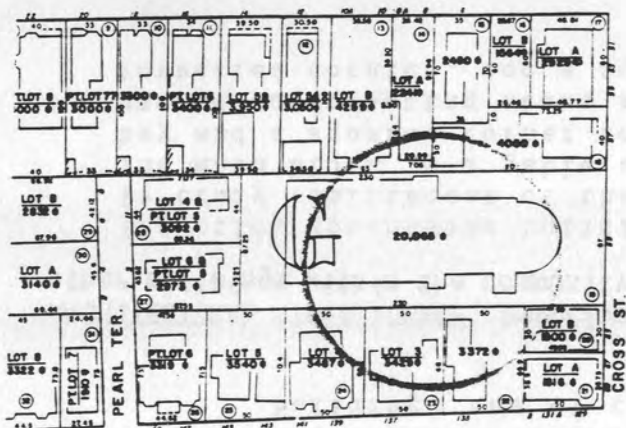
UTM REFERENCE

USGS QUADRANGLE

SCALE



Location
/or
Buildings



PEARL STREET

NATIONAL REGISTER CRITERIA STATEMENT (if applicable)

The property is significant for :

A - its association with the development of religious activities in East Somerville and its reflection on the life styles.

C - its representation of a well conserved example of a Romanesque building, one of the only local religious structures in the style.

ARCHITECTURAL SIGNIFICANCE Describe important architectural features and evaluate in terms of other buildings within the community.

The brick Romanesque building is one of only a few masonry buildings that is truly reminiscent of the Richardsonian Romanesque style of architecture. The main block is a gable end structure with a wide and rounded projecting bay and a squared corner tower. Variety and interest are created by the use of contrasting stone string courses, rounded, arched windows, a corbelled cornice, and a squared hipped roof on the four story tower.

HISTORICAL SIGNIFICANCE Explain the role owners played in local or state history and how the building relates to the development of the community.

East Somerville was one of the most densely settled parts of Somerville by the mid to late 1800s in part due to its topography and fine soil for drainage and clay for brick and pottery making. Broadway and Washington Street were main thoroughfares from the 18th century connecting Charlestown with Medford and Cambridge. Several farms cropped up in the East Somerville area and by the mid 1800s there were shops, taverns and industries with brick yards and pottery enterprises. In the mid 1800s most residents were Boston businessmen and from the 1870s many multi-family buildings were built to accommodate the increasing number of workers in the area due to the expanding brickyards, spike factories, and potteries.

In 1845 the Neck Village Baptist Church was organized under the Reverend John R. Gow. It soon became known as the Charlestown and Somerville Baptist Church and by 1853 was named the Perkins Street Baptist Church. There was a meeting house on Perkins Street that burned in 1866, was rebuilt and then enlarged to seat 1000 in 1873. This is an indicator of the rapidly increasing local population. The congregation split in the 1880s and the new parish used the Franklin Street Congregational Church until this building was built in 1892 for \$46,000. There were 373 resident members at that time.

BIBLIOGRAPHY and/or REFERENCES

1. Atlas of Middlesex County, Somerville: 1884 , 1895
2. City of Somerville, Beyond the Neck: The Architecture and Development of Somerville, Massachusetts, 1983.
3. City Directories: 1880s-1890s.
4. Samuel, Edward, Somerville: Past and Present, 1897.

INVENTORY FORM CONTINUATION SHEET

MASSACHUSETTS HISTORICAL COMMISSION
 MASSACHUSETTS ARCHIVES BUILDING
 220 MORRISSEY BOULEVARD
 BOSTON, MASSACHUSETTS 02125

Town	Property Address
Somerville	59 Cross St
Area(s)	Form No.
SMV1	3/6

DEPARTMENT OF PUBLIC SAFETY
 DIVISION OF INSPECTION
 PLAN RECORD

CASE	RACK	APART	NO.
BUILDING	Grace Baptist Church	STORY	2 & 3
CITY OR TOWN	Somerville	STREET	61 Cross St.
TO BE USED FOR	church purposes	CLASS	
OWNER	Grace Baptist Church		
ARCHITECT	Edward Melville Briggs		
CERTIFICATE APPROVAL SPECIFICATION REQUIREMENTS REFERRED TO			
DATE	9/19/49		
INSPECTOR	B. B. Whitney		

FORM BU 1 5M-4-46 23204

SOMERVILLE HISPANIC CHURCH

APPLICATION FOR PROPOSED CHANGES TO THE HISTORIC PRESERVATION COMMISSION
CITY OF SOMERVILLE 11.08.2017

PROJECT TEAM

ARCHITECT
Spencer & Vogt Group
1Thompson Square
Charlestown, MA 02129
617.227.2654

LANDSCAPE ARCHITECT
DMLA
103 Terrace Street
Boston, MA 02120

DRAWING INDEX

LANDSCAPE:
L-101 SITE PLAN
L-201 SITE DETAILS
L-202 SITE DETAILS

ARCHITECTURAL:
A000 TITLE SHEET

PROJECT 1A: (MAIN BUILDING: EXTERIOR AND ROOF WORK)

D100 ROOF PLAN - DEMOLITION
A100 ROOF PLAN - NEW WORK
D200 ELEVATIONS - DEMOLITION
D201 ELEVATIONS - DEMOLITION
A200 ELEVATIONS - NEW WORK
A201 ELEVATIONS - NEW WORK
A500 EXISTING CONDITIONS PHOTOGRAPHS

PROJECT 1B: (APSE PORTION OF BUILDING: EXTERIOR AND ROOF WORK)

D100 PLANS AND ELEVATIONS - DEMOLITION
A100 PLANS AND ELEVATIONS - NEW WORK
A500 PHOTOGRAPHS AND DETAILS

PROJECT 2: (ACCESSIBILITY)
D100 BASEMENT DEMOLITION PLAN
D101 FIRST FLOOR DEMOLITION PLAN
A100 BASEMENT PLAN - NEW WORK
A101 FIRST FLOOR PLAN - NEW WORK
A500 EXISTING CONDITIONS PHOTOGRAPHS



Architect:
SPENCER & VOGT GROUP
architecture preservation
1 Thompson Square, Suite 504
Charlestown, MA 02129
617.227.2675
www.spencervogt.com

Seal:

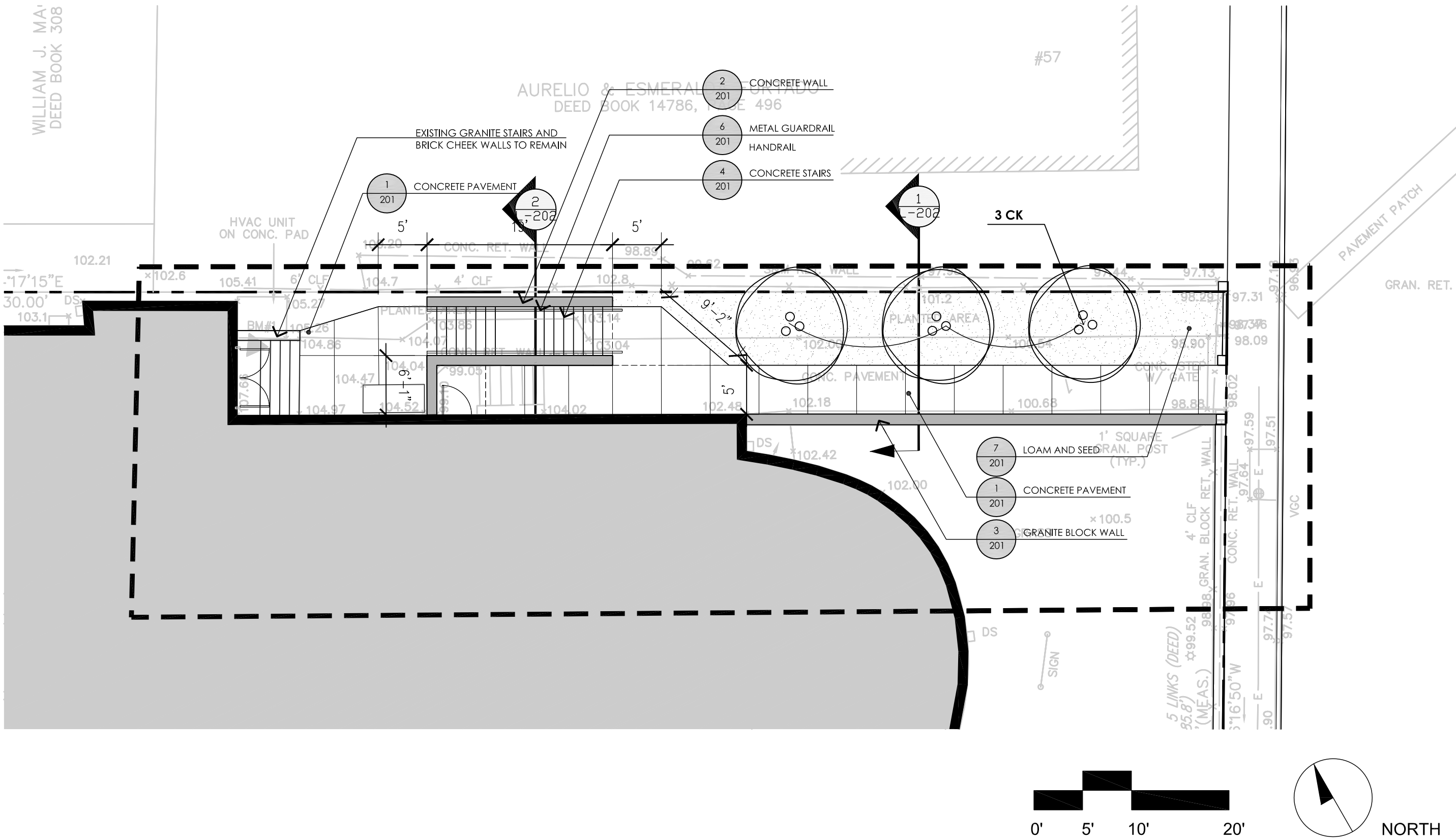
Consultant:

ISSUE / REVISIONS:

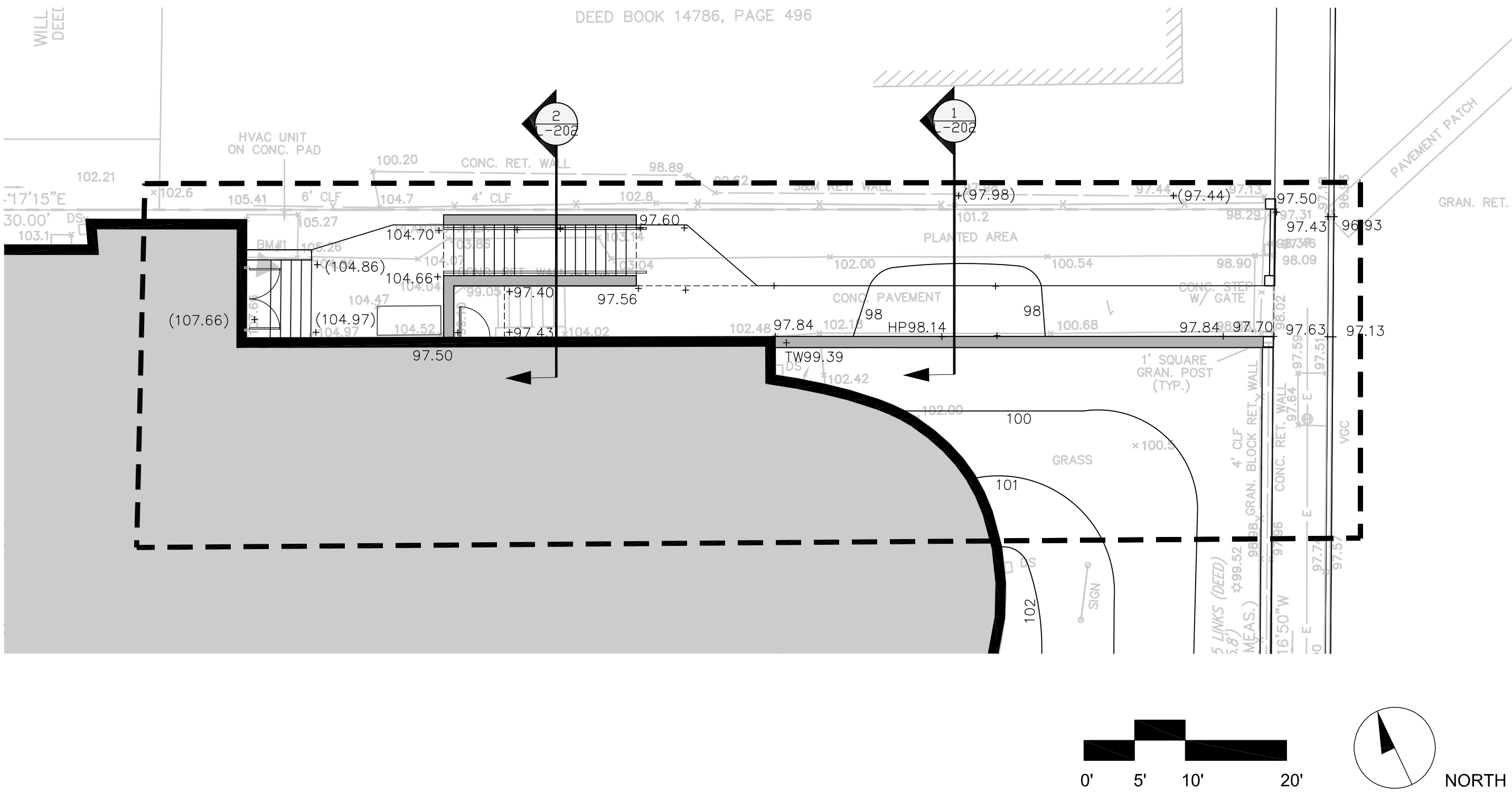
Date: 2017.11.8
Drawn by:
Checked by:
Project Number:
1705.00

SOMERVILLE HISPANIC CHURCH
89 CROSS STREET, SOMERVILLE, MA 02145

A000



1 MATERIALS AND PLANTING PLAN



2 GRADING PLAN

LAYOUT AND MATERIAL NOTES

- EXISTING CONDITIONS INFORMATION IS A COMPILED SURVEY PREPARED BY HANCOCK ASSOCIATES AT 185 CENTRE STREET, DANVERS, MA 01923 DATED 6/5/2017.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO CONSTRUCTION.

LAYOUT AND MATERIALS LEGEND

PROPERTY LINE	---
LIMIT OF WORK	---
EXISTING RETAINING WALL	---
PROPOSED RETAINING WALL	---

PLANTING LEGEND

PROPERTY LINE	---
LIMIT OF WORK LINE	---
ORNAMENTAL TREE	⊗
GENERAL LAWN SEED MIX	⊗

GRADING LEGEND

PROPERTY LINE	---
LIMIT OF WORK LINE	---
PROPOSED 1 FOOT CONTOURS	90
PROPOSED SLOPE DIRECTION	1.0%
EXISTING SPOT GRADE	+ (74.70)
PROPOSED SPOT GRADE	+ 74.70
PROPOSED GRADE BRAKE	

PLANTING NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE COMPILED EXISTING CONDITIONS PLAN OF LAND PREPARED BY HANCOCK ASSOCIATES AT 185 CENTRE STREET, DANVERS, MA 01923 DATED 6/5/2017.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
- CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM PROPOSED BUILDING, STRUCTURES, AND PLANTING BEDS.
- MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
- FINAL LAYOUT OF PLANTINGS WILL BE IN THE FIELD PER THE DIRECTION OF THE LANDSCAPE ARCHITECT, PROVIDE A MINIMUM FORTY-EIGHT (48) HOURS NOTICE PRIOR TO BEGINNING FINAL LAYOUT AND PLANTING OPERATIONS.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- ALL PLANTED AREAS TO BE EDGED AND MULCHED WITH AGED PINE BARK; PARTIALLY DECOMPOSED, JET BLACK IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- PLANTING SOIL MIX: UTILIZE EXISTING SITE LOAM FROM STOCKPILES, THOROUGHLY INCORPORATE WITH COMPOST AS NEEDED PER SOILS ANALYSIS. FERTILIZE PER RECOMMENDED RATES IN SOIL ANALYSIS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
- ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED AND SEEDED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL UNLESS OTHERWISE NOTED.

PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE
ORNAMENTAL TREES - 3 Trees				
CK	CORNUS KOUSA	KOUSA DOGWOOD	3	3-3.5 CAL.

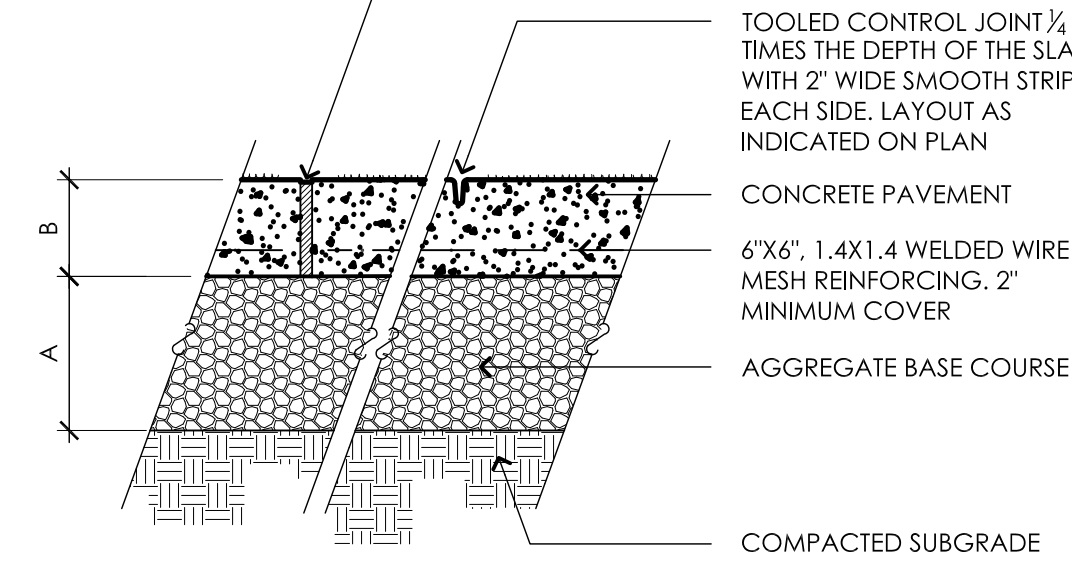
GRADING NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE COMPILED EXISTING CONDITIONS PLAN OF LAND PREPARED BY HANCOCK ASSOCIATES AT 185 CENTRE STREET, DANVERS, MA 01923 DATED 6/5/2017.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE CIVIL ENGINEER, AND LANDSCAPE ARCHITECT FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- CONTRACTOR SHALL MAINTAIN, OR ADJUST TO NEW FINISH GRADE, AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS: TRAFFIC SIGN POLES, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS, UNLESS OTHERWISE NOTED OR DIRECTED BY THE CIVIL ENGINEER AND LANDSCAPE ARCHITECT.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- PROTECT AND MAINTAIN EXISTING ON-SITE DRAINAGE STRUCTURES AND PIPES UNLESS OTHERWISE NOTED. REFER TO CIVIL DRAWINGS.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.

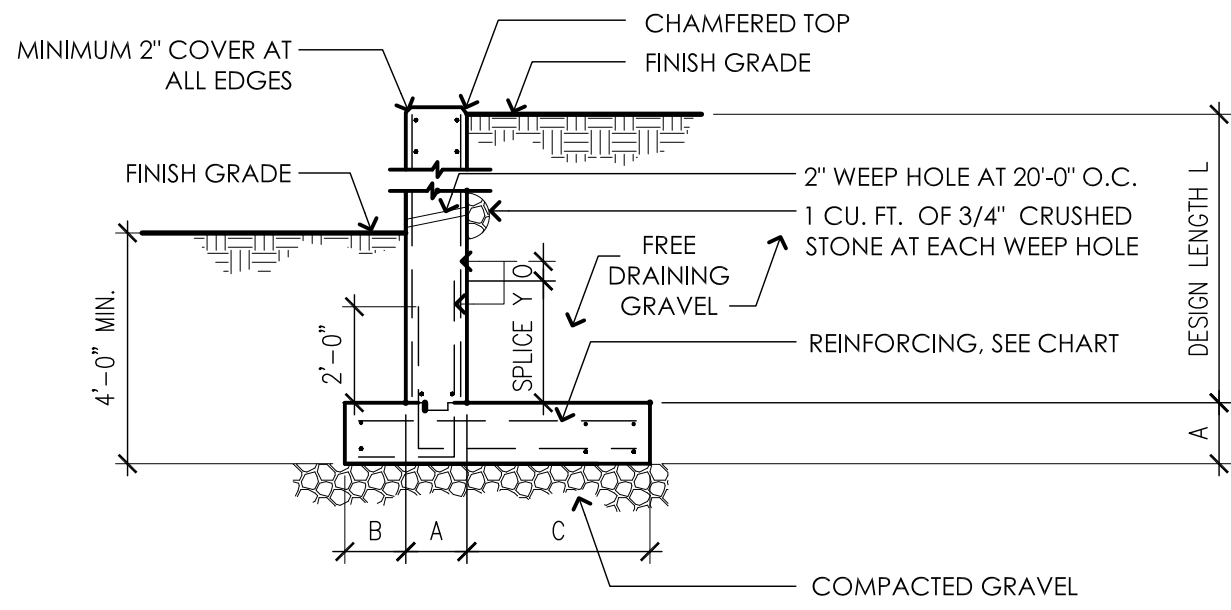
Seal:

ISSUE / REVISIONS

CONCRETE WALK
HEAVY DUTY FVM
*SUBJECT TO FINAL
GEOTECHNICAL
RECOMMENDATIONS

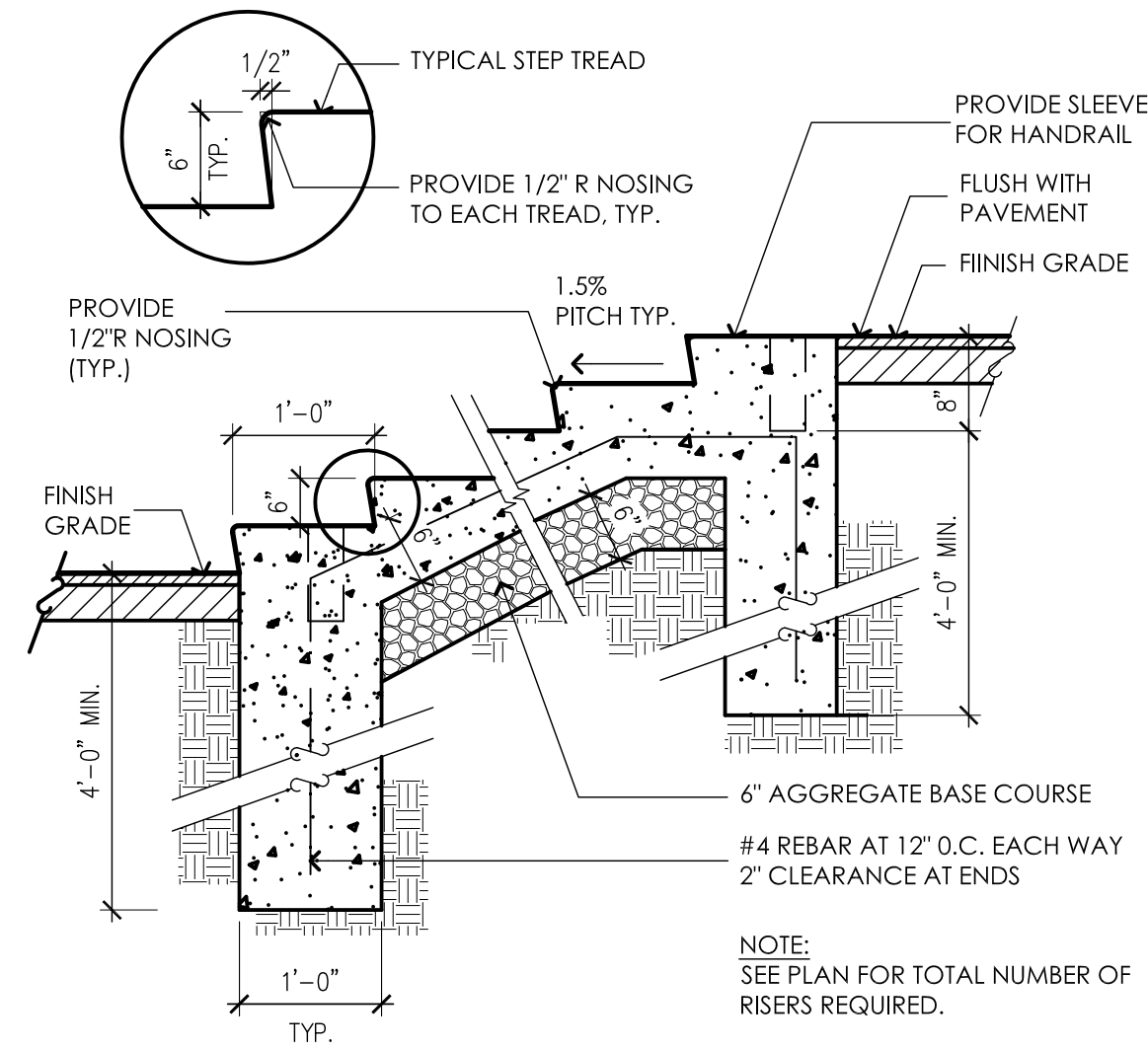
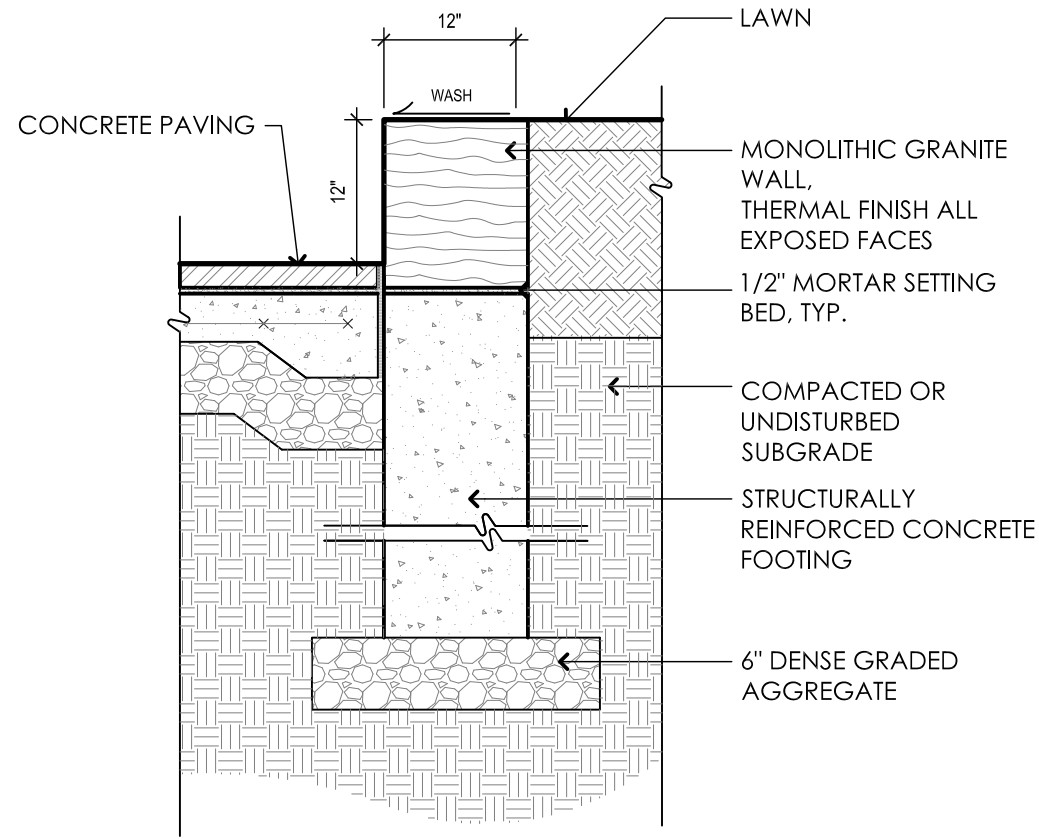


NOTES:
PROVIDE LIGHT BROOM FINISH PERPENDICULAR TO THE TRAFFIC FLOW UNLESS
OTHERWISE NOTED



DESIGN HEIGHT	CONCRETE DIMENSIONS	REINFORCING
4'-1" TO 6'-0"	1'-0" 1'-2" 2'-0"	#4@12 2'-0"
6'-1" TO 8'-0"	1'-6" 1'-2" 2'-6"	#5@12 2'-6"
8'-1" TO 10'-0"	2'-0" 1'-2" 3'-0"	#6@12 3'-0"
10'-1" TO 12'-0"	2'-4" 1'-2" 3'-8"	#6@8 3'-0"
12'-1" TO 14'-0"	2'-4" 1'-2" 4'-6"	#8@12 5'-0"
14'-1" TO 16'-0"	2'-10" 1'-2" 5'-0"	#8@8 5'-0"

NOTE: THIS DETAIL PROVIDED FOR
PRICING ONLY. SEE
STRUCTURAL DETAILS.



1 CONCRETE PAVEMENT

1 1/2" = 1'-0"

2 CONCRETE WALL

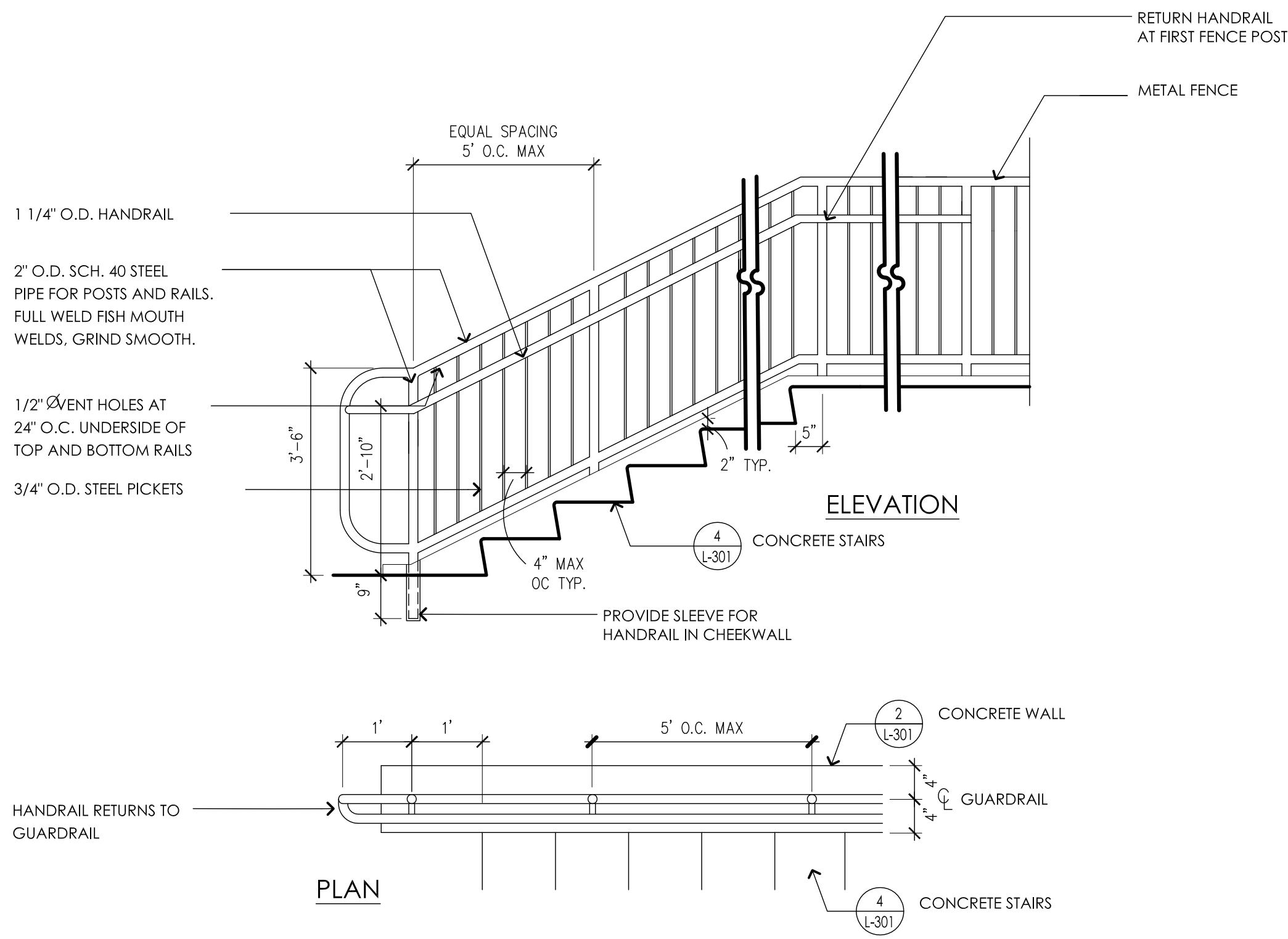
1/4" = 1'-0"

3 STONE WALL

3/4" = 1'-0"

4 CONCRETE STAIRS

3/4" = 1'-0"



5 CHEEK WALL

1" = 1'-0"

6 METAL HANDRAIL AND GUARDRAIL

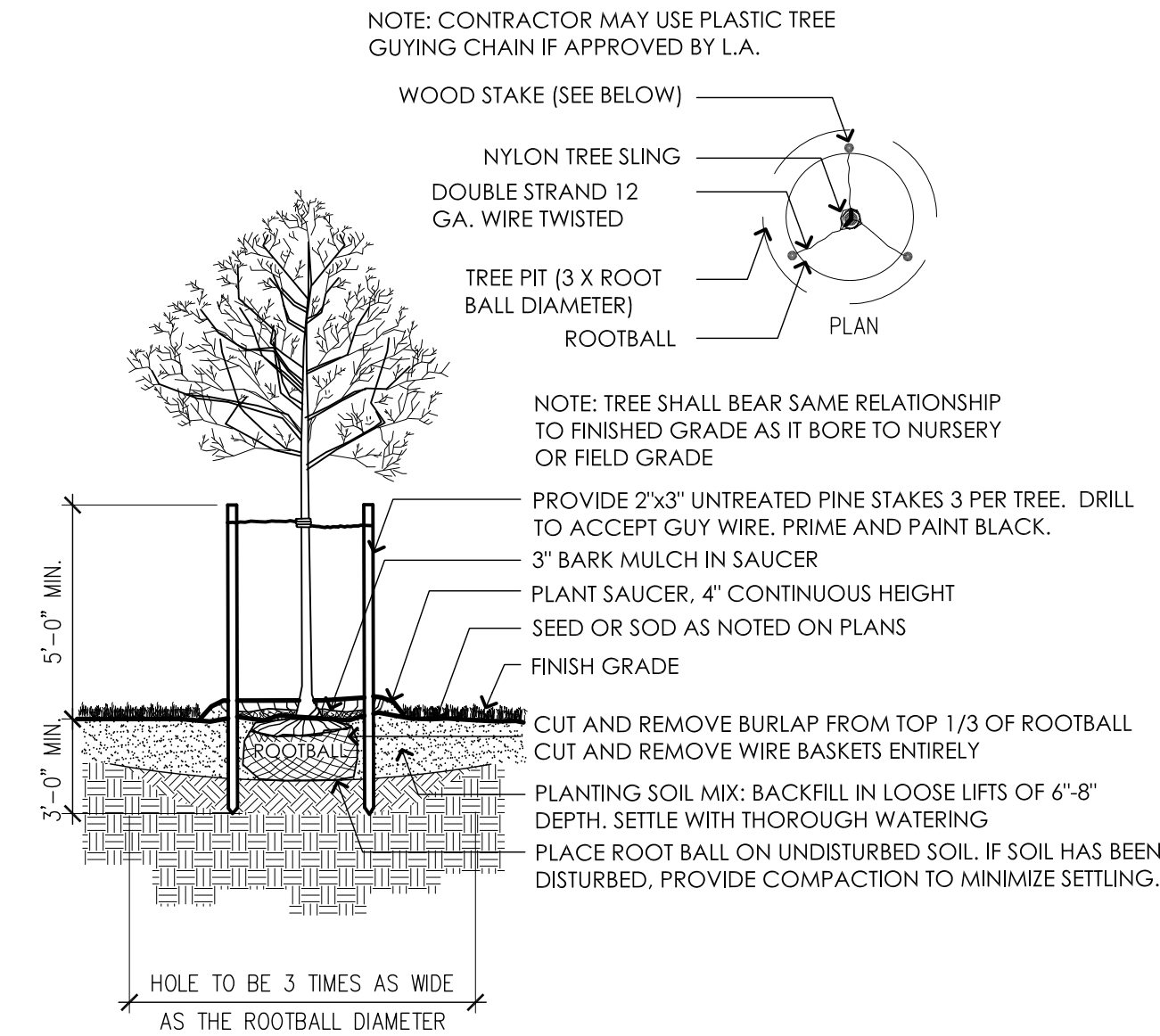
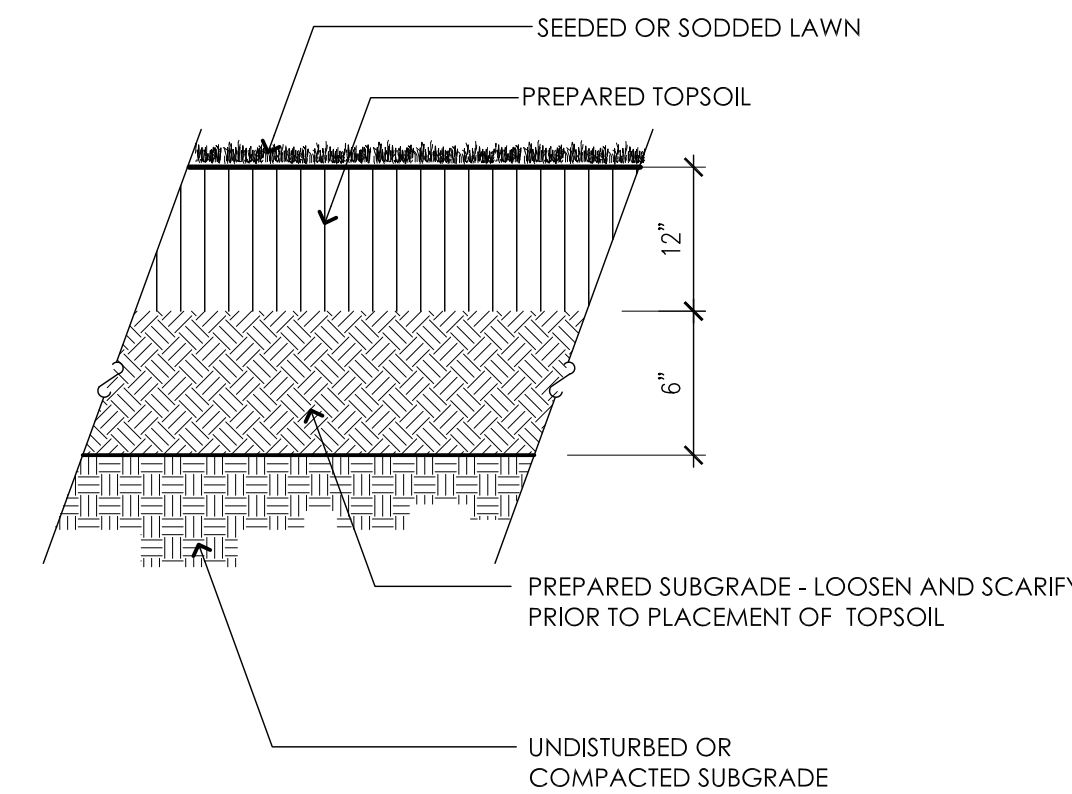
1" = 1'-0"

7 TYPICAL LOAM AND SEED PLANTING

1 1/2" = 1'-0"

8 TYPICAL TREE PLANTING

1/4" = 1'-0"



9 CONCRETE WALL ELEVATION

1/4" = 1'-0"

Architect:
SPENCER & VOGT GROUP
architecture preservation

1 Thompson Square, Suite 504
Charlestown, MA 02129
617.227.2675
www.spencervogt.com

Seal:

ISSUE / REVISIONS

Date: 2017.11.1

Drawn by: TNP

Checked by: DMM

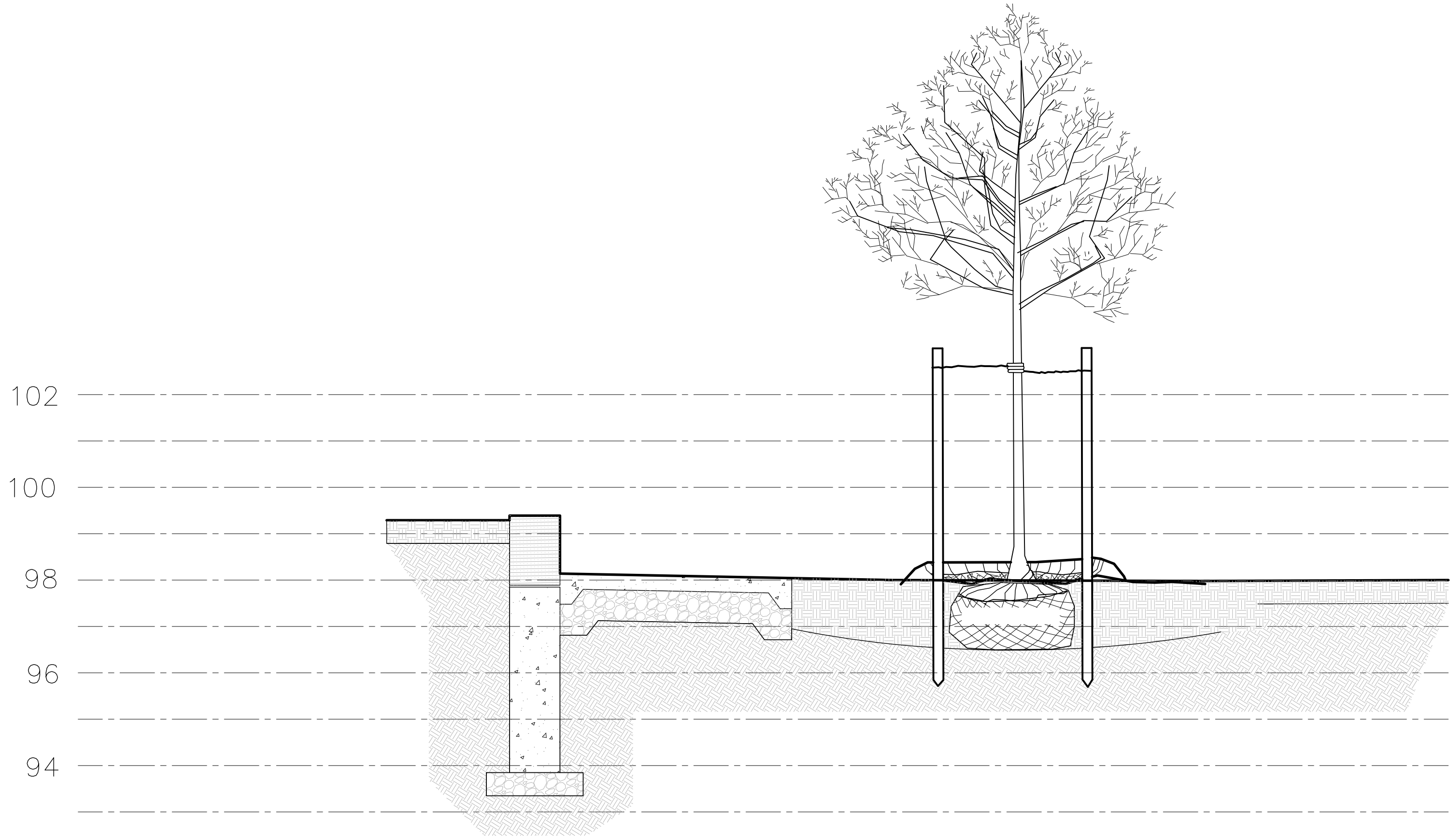
Project Number: 1711

SOMERVILLE, HISPANIC CHURCH
59 CROSS STREET, SOMERVILLE, MA 02145

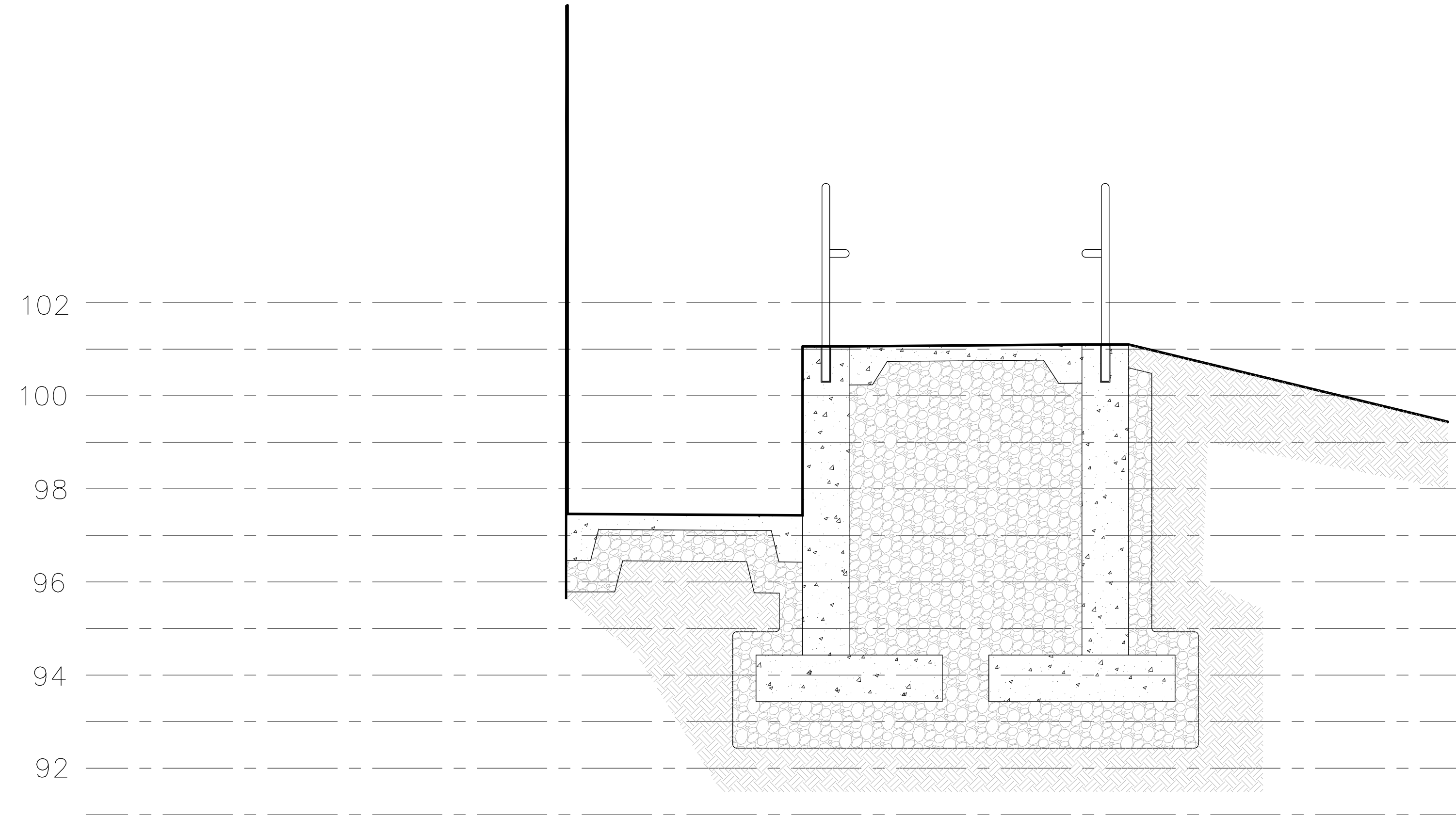
SITE DETAILS

L-201

1 SECTION A
6" = 1'-0"



2 SECTION B
6" = 1'-0"



SOMERVILLE HISPANIC CHURCH
59 CROSS STREET, SOMERVILLE, MA 02145

SITE DETAILS

Date: 2017.11.1
Drawn by: TNP
Checked by: DMM
Project Number: 1711

DRAFT
NOT FOR CONSTRUCTION

ISSUE / REVISIONS

Seal:

Architect:

SPENCER & VOGT GROUP
architecture preservation

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617.227.2675
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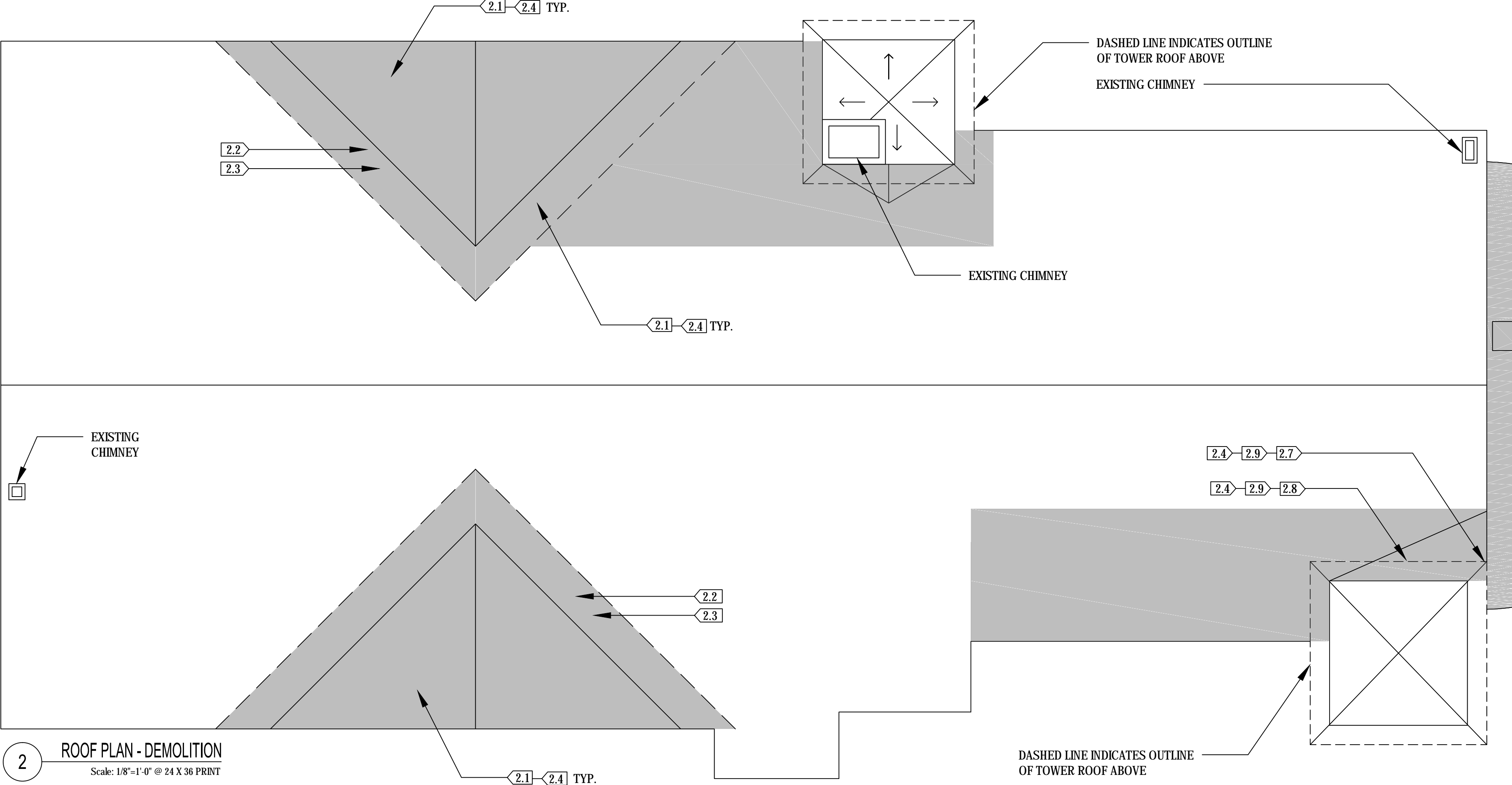
DMLA

103 TERRACE STREET
BOSTON, MA 02120
WWW.DM-LA.COM

L-202



1 PHOTOGRAPH OF EXISTING ROOF

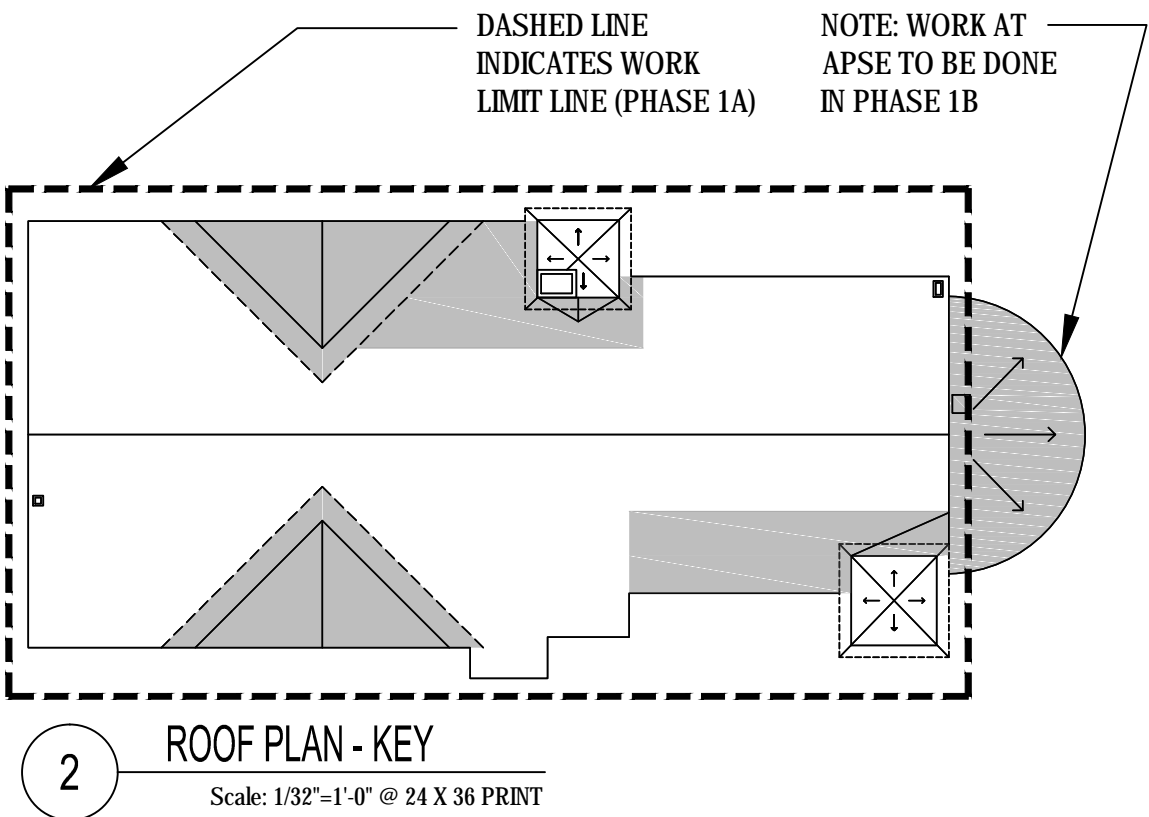


2 ROOF PLAN - DEMOLITION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT

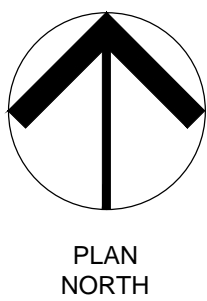
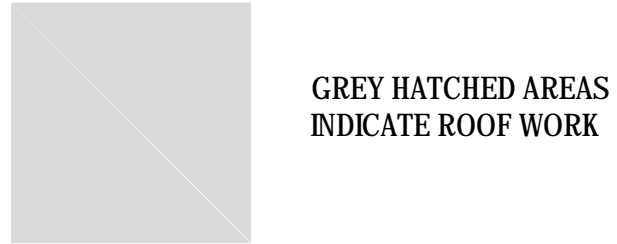
**Proposed Scope of Work for
Exterior Envelope - Demolition
Notes:**

- 2.1 Remove and salvage all slate shingles from all roof surfaces of both cross gables.
- 2.2 Remove and salvage 4' wide band of slate shingles from main roof adjacent and parallel to existing valleys at intersection of main roof with both cross gables (four locations)
- 2.3 Remove existing copper valley flashing and any underlayment materials.
- 2.4 Replace any deteriorated wood roof sheathing with in-kind materials
- 2.5 Remove black asphalt roofing sealer from all brick masonry abutting main roof.
- 2.6 Remove all existing downspouts from tower roof to main roof.
- 2.7 At main roof, remove 4' wide band of shingles/flashing adjacent to east wall face.
- 2.8 At main roof, remove 2' wide band of slate shingles adjacent to north wall face.
- 2.9 Remove existing copper base and counter-flashing at both locations.

- 2.10 Not used.
- 2.11 Remove spalled brick masonry and replace with new bricks to match existing.
- 2.12 Remove asphalt sealant from brick masonry below round window.
- 2.13 Remove asphalt sealant at counter-flashing of two bulkheads.
- 2.14 Disassemble brick masonry down ten (10) courses; salvage brick for rebuilding.
- 2.15 Disassemble brick masonry down to roof level; salvage brick for rebuilding.



DEMOLITION ROOF PLAN KEY:

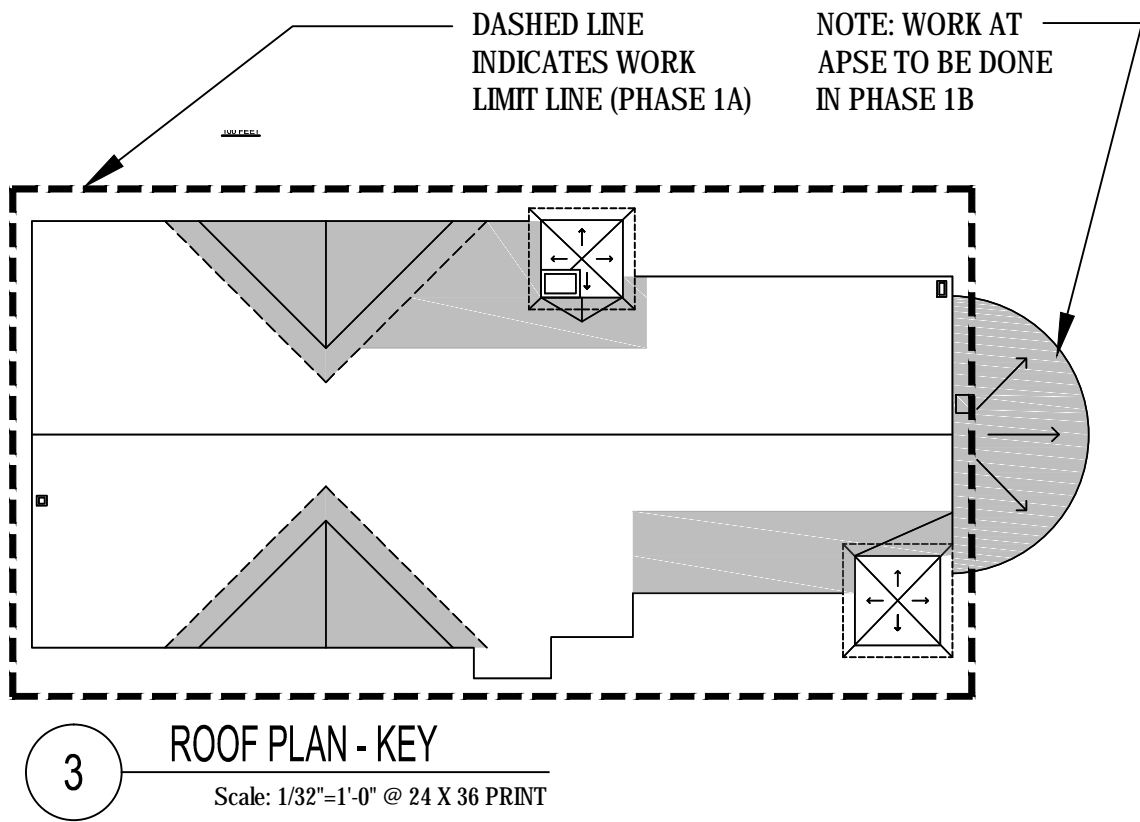
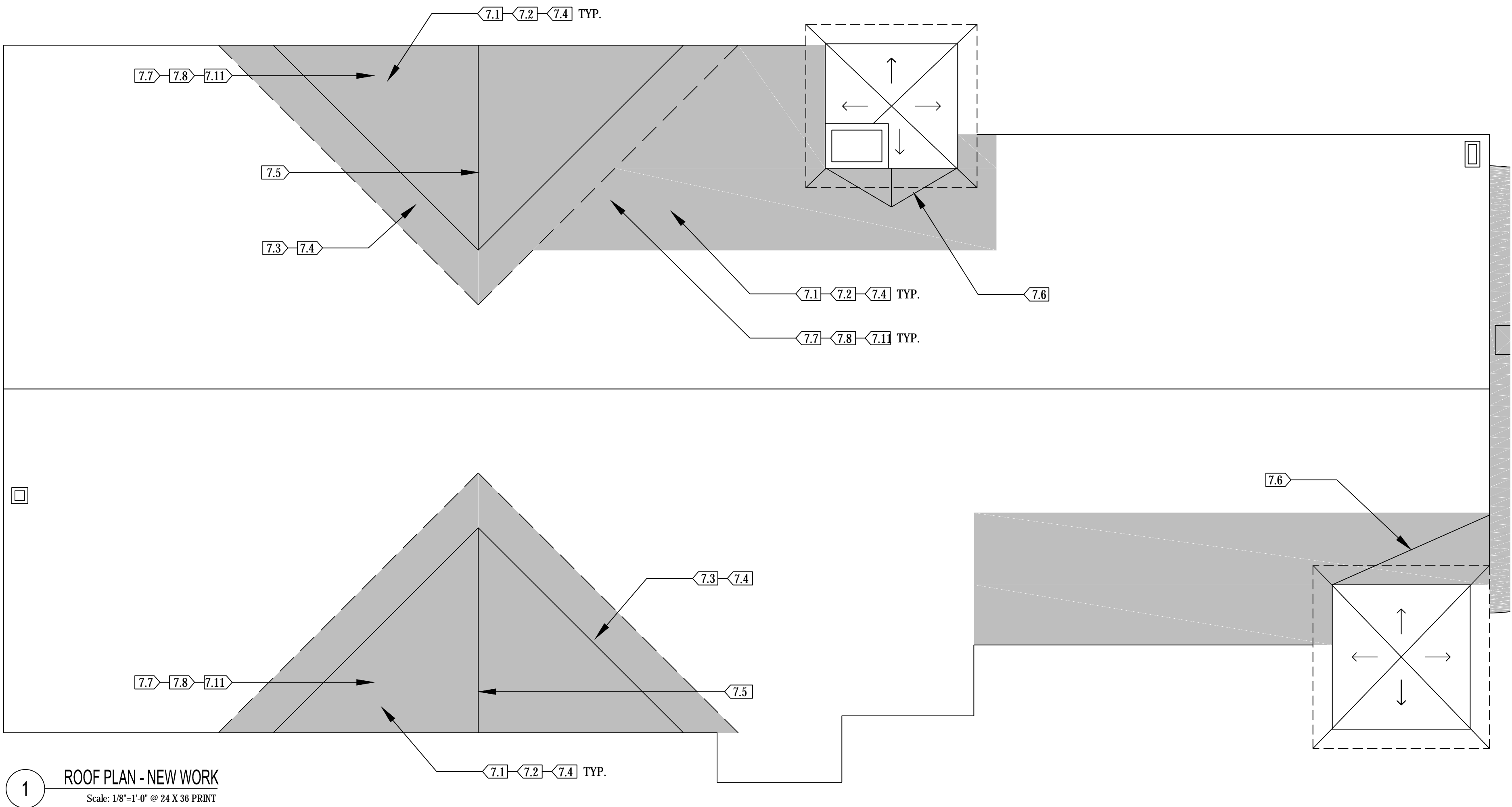


Proposed Scope of Work for Exterior Envelope - New Work:

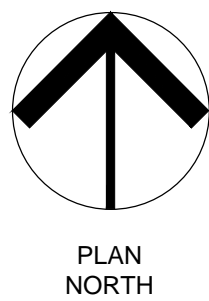
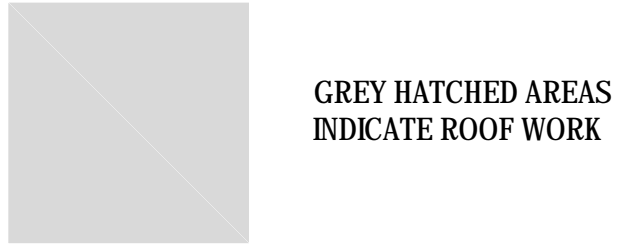
- 4.1 Rebuild brick masonry surrounding projecting roof drain at north wall face roof sheathing with in-kind materials.
- 4.2 Perform isolated repointing of selected wall areas on all three exposed sides.
- 4.3 Rebuild and/or repoint spandrel panels between masonry openings of windows.
- 4.4 Repair stepped crack in arch over entry doors to shelter and sanctuary.
- 4.5 Install bricks in holes made for HVAC condenser lines.
- 4.6 Repoint brick cornice along south wall.
- 4.7 Rake-out vertical joints of each steel buttress and fill with structural grout.
- 4.8 Rebuild chimney using salvaged brick to match original height.
- 4.9 Reinstall stone masonry cap detail.
- 4.10 Repoint remainder of brick masonry with mortar color to match existing.
- 4.11 If chimney flue is unused, cap chimney with weighted bluestone cap
- 4.12 Rebuild chimney to match original height; match cap detail.
- 4.13 If flue is unused, cap chimney with weighted bluestone cap.

- 5.1 Sandblast vertical steel buttresses and repaint.
- 7.1 Cover exposed, existing roof sheathing with roofing felt underlayment.
- 7.2 Cover felt underlayment with adhesive waterproofing membrane.
- 7.3 Provide new red copper valley flashing; provide tapered open valleys.
- 7.4 Reinstall salvaged slate shingles with new shingles in matching color, as required.
- 7.5 Provide new red copper ridge flashing at both cross gables.
- 7.6 Replace any deteriorated wood framing and sheathing at existing crickets where tower wall meets roof.
- 7.7 Cover existing and new roof sheathing with roofing felt underlayment.
- 7.8 Cover felt underlayment with adhesive waterproofing membrane.
- 7.9 Turn-up adhesive waterproofing a minimum.
- 7.10 Provide new red copper base and edge flashing, edge flashing, and built-in gutters.
- 7.11 Reinstall salvaged slate shingles with new shingles in matching color, as required.
- 7.12 Provide new aluminum downspouts

- 7.13 Install copper flashing at lower edge of round window.
- 7.14 Replace missing downspouts at three locations, each side.
- 7.15 Provide new roofs and flashing over both bulkheads.
- 7.16 Clean-out cast iron receivers and interior drains of all downspouts.
- 7.17 Provide lead flashing at tops of all four steel buttresses.
- 7.18 Provide new red copper base flashing, edge flashing, and built-in gutters.
- 8.1 Replace louvered vents in all openings with glazed window sashes.
- 8.2 Replace sheet metal covering with laminated glass in wood frame.
- 8.3 Replace all existing storm windows, all building elevations, including arched transoms.
- 8.4 Remove and replace broken glass in storm windows.

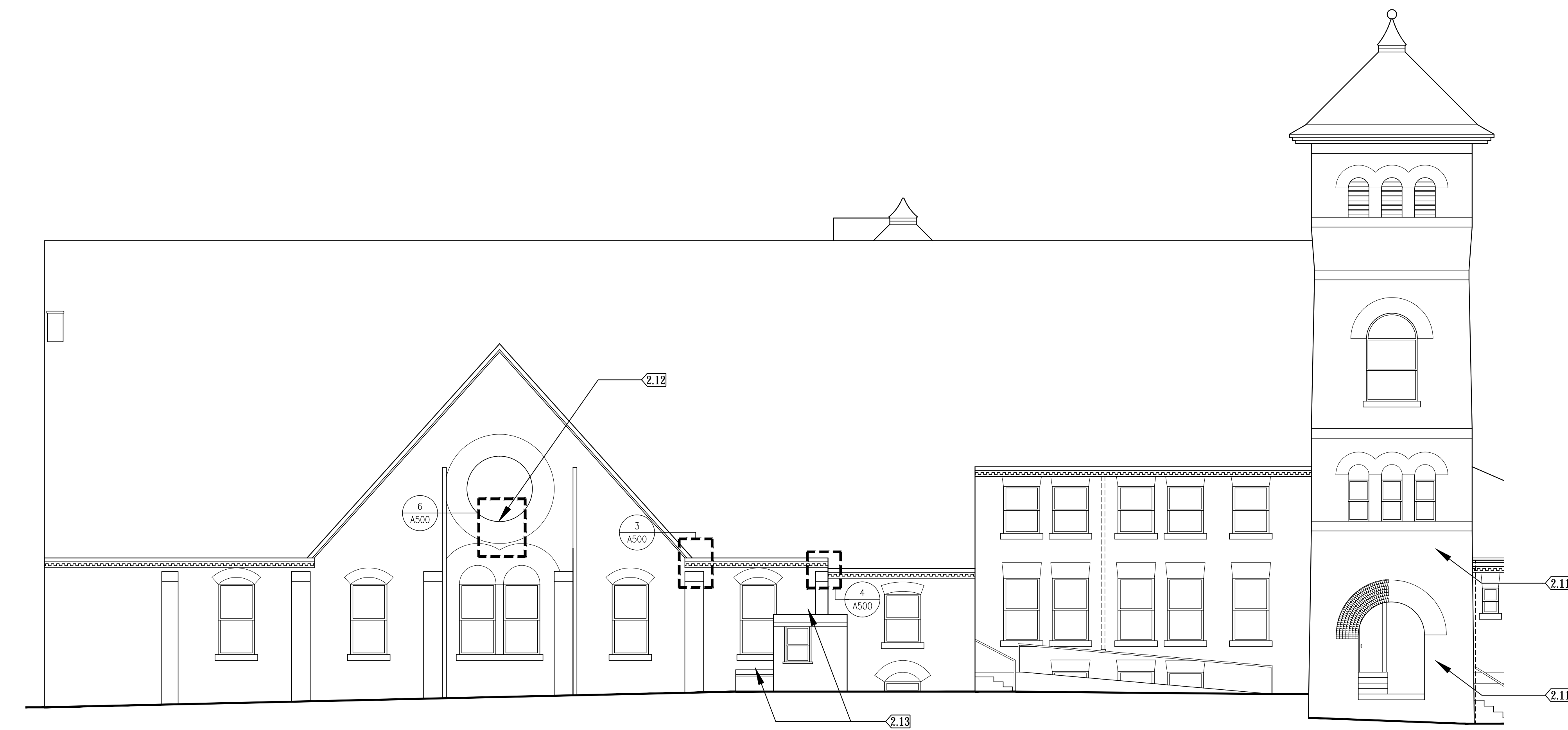


ROOF PLAN KEY - NEW WORK:

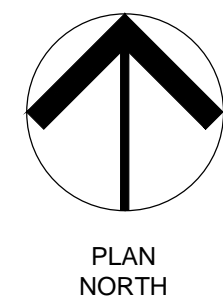




1 NORTH ELEVATION - DEMOLITION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT



2 SOUTH ELEVATION - DEMOLITION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT



**Proposed Scope of Work for
Exterior Envelope - Demolition
Notes:**

- 2.1 Remove and salvage all slate shingles from all roof surfaces of both cross gables.
- 2.2 Remove and salvage 4' wide band of slate shingles from main roof adjacent and parallel to existing valleys at intersection of main roof with both cross gables (four locations)
- 2.3 Remove existing copper valley flashing and any underlayment materials.
- 2.4 Replace any deteriorated wood roof sheathing with in-kind materials
- 2.5 Remove black asphalt roofing sealer from all brick masonry abutting main roof.
- 2.6 Remove all existing downspouts from tower roof to main roof.
- 2.7 At main roof, remove 4' wide band of shingles/flashing adjacent to east wall face.
- 2.8 At main roof, remove 2' wide band of slate shingles adjacent to north wall face.
- 2.9 Remove existing copper base and counter-flashing at both locations.
- 2.10 Not used.
- 2.11 Remove spalled brick masonry and replace with new bricks to match existing.
- 2.12 Remove asphalt sealant from brick masonry below round window.
- 2.13 Remove asphalt sealant at counter-flashing of two bulkheads.
- 2.14 Disassemble brick masonry down ten (10) courses; salvage brick for rebuilding.
- 2.15 Disassemble brick masonry down to roof level; salvage brick for rebuilding.

Architect:
SPENCER & VOGT GROUP
architecture preservation

1 Thompson Square, Suite 504
Charlestown, MA 02129
617.227.2675
www.spencervogt.com

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Consultant:

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SOMERVILLE HISPANIC CHURCH
39 CROSS STREET, SOMERVILLE, MA 02145

PROJECT 1A
ELEVATIONS - DEMOLITION

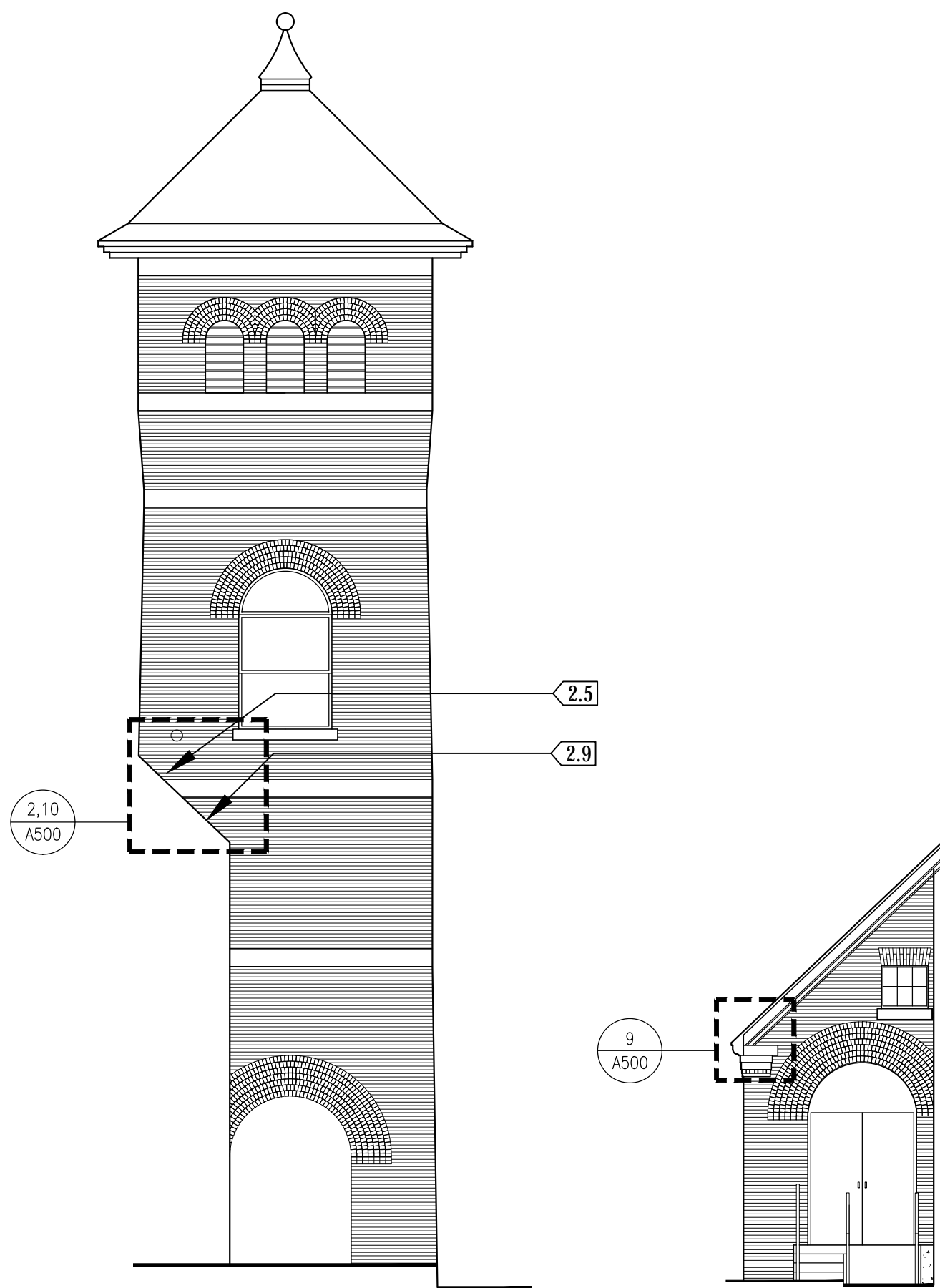
D200



1 EAST ELEVATION - DEMOLITION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT

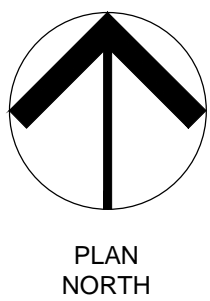


2 WEST ELEVATION - DEMOLITION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT



3 NORTHEAST ELEVATION - DEMOLITION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT

4 SOUTHEAST ELEVATION - DEMOLITION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT



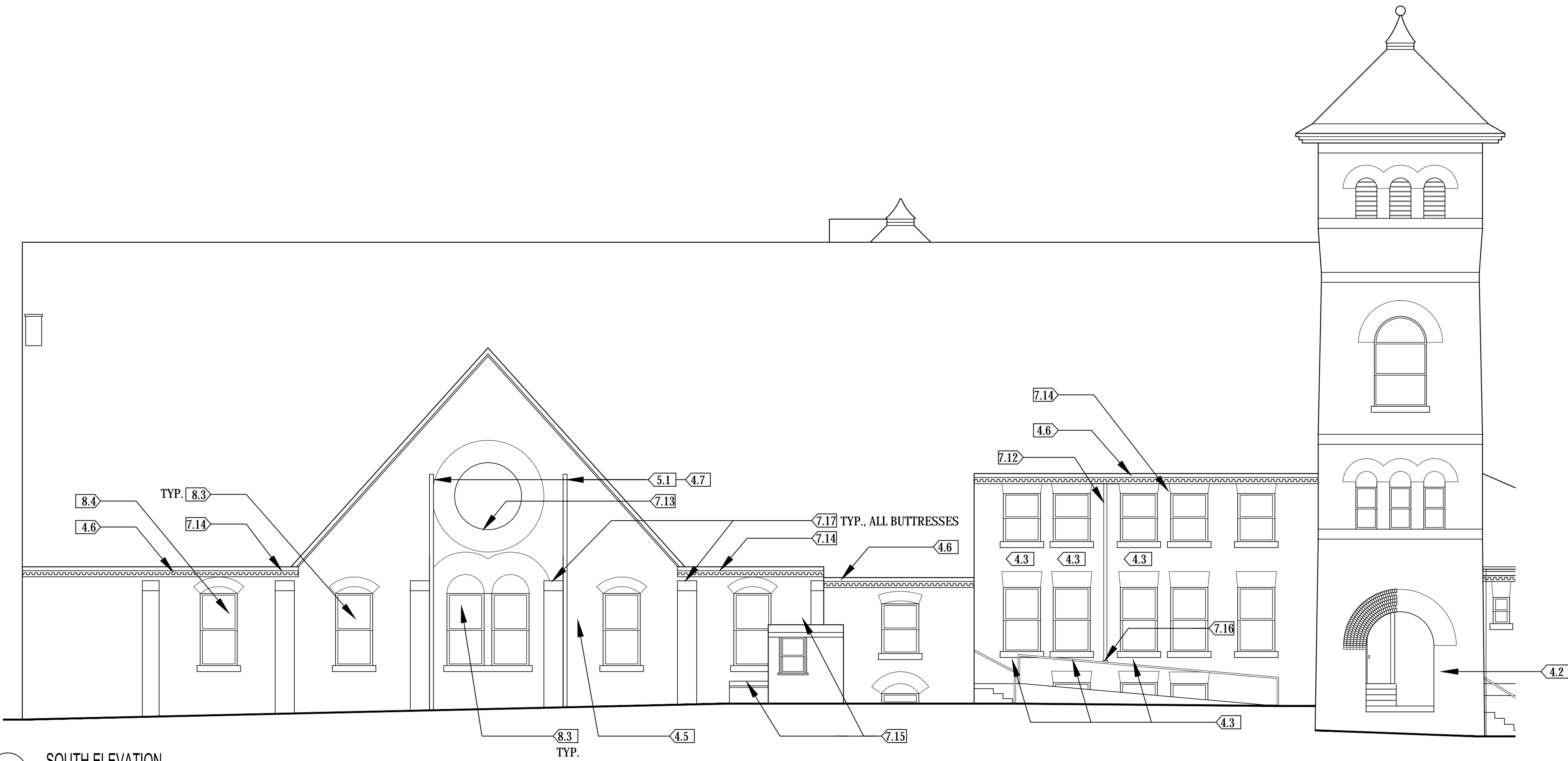
**Proposed Scope of Work for
Exterior Envelope - Demolition**

Notes:

- 2.1 Remove and salvage all slate shingles from all roof surfaces of both cross gables.
- 2.2 Remove and salvage 4' wide band of slate shingles from main roof adjacent and parallel to existing valleys at intersection of main roof with both cross gables (four locations)
- 2.3 Remove existing copper valley flashing and any underlayment materials.
- 2.4 Replace any deteriorated wood roof sheathing with in-kind materials
- 2.5 Remove black asphalt roofing sealer from all brick masonry abutting main roof.
- 2.6 Remove all existing downspouts from tower roof to main roof.
- 2.7 At main roof, remove 4' wide band of shingles/flashing adjacent to east wall face.
- 2.8 At main roof, remove 2' wide band of slate shingles adjacent to north wall face.
- 2.9 Remove existing copper base and counter-flashing at both locations.
- 2.10 Not used.
- 2.11 Remove spalled brick masonry and replace with new bricks to match existing.
- 2.12 Remove asphalt sealant from brick masonry below round window.
- 2.13 Remove asphalt sealant at counter-flashing of two bulkheads.
- 2.14 Disassemble brick masonry down ten (10) courses; salvage brick for rebuilding.
- 2.15 Disassemble brick masonry down to roof level; salvage brick for rebuilding.



1 NORTH ELEVATION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT



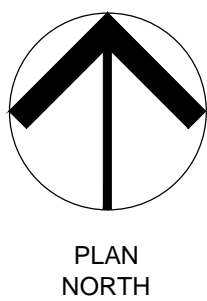
2 SOUTH ELEVATION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT

Proposed Scope of Work for Exterior
Envelope - New Work:

- 4.1 Rebuild brick masonry surrounding projecting roof drain at north wall face roof sheathing with in-kind materials.
- 4.2 Perform isolated repointing of selected wall areas on all three exposed sides.
- 4.3 Rebuild and/or repoint spandrel panels between masonry openings of windows.
- 4.4 Repair stepped crack in arch over entry doors to shelter and sanctuary.
- 4.5 Install bricks in holes made for HVAC condenser lines.
- 4.6 Repoint brick cornice along south wall.
- 4.7 Rake-out vertical joints of each steel buttress and fill with structural grout.
- 4.8 Rebuild chimney using salvaged brick to match original height.
- 4.9 Reinstall stone masonry cap detail.
- 4.10 Repoint remainder of brick masonry with mortar color to match existing.
- 4.11 If chimney flue is unused, cap chimney with weighted bluestone cap
- 4.12 Rebuild chimney to match original height; match cap detail.
- 4.13 If flue is unused, cap chimney with weighted bluestone cap.
- 5.1 Sandblast vertical steel buttresses and repaint.

- 7.1 Cover exposed, existing roof sheathing with roofing felt underlayment.
- 7.2 Cover felt underlayment with adhesive waterproofing membrane.
- 7.3 Provide new red copper valley flashing; provide tapered open valleys.
- 7.4 Reinstall salvaged slate shingles with new shingles in matching color, as required.
- 7.5 Provide new red copper ridge flashing at both cross gables.
- 7.6 Replace any deteriorated wood framing and sheathing at existing crickets where tower wall meets roof.
- 7.7 Cover existing and new roof sheathing with roofing felt underlayment.
- 7.8 Cover felt underlayment with adhesive waterproofing membrane.
- 7.9 Turn-up adhesive waterproofing a minimum.
- 7.10 Provide new red copper base and
- 7.11 Reinstall salvaged slate shingles with new shingles in matching color, as required.
- 7.12 Provide new aluminum downspouts painted to match patinated copper.
- 7.13 Install copper flashing at lower edge of round window.

- 7.14 Replace missing downspouts at three locations, each side.
- 7.15 Provide new roofs and flashing over both bulkheads.
- 7.16 Clean-out cast iron receivers and interior drains of all downspouts.
- 7.17 Provide lead flashing at tops of all four steel buttresses.
- 7.18 Provide new red copper base flashing, edge flashing, and built-in gutters.
- 8.1 Replace louvered vents in all openings with glazed window sashes.
- 8.2 Replace sheet metal covering with laminated glass in wood frame.
- 8.3 Replace all existing storm windows, all building elevations, including arched transoms.
- 8.4 Remove and replace broken glass in storm windows.

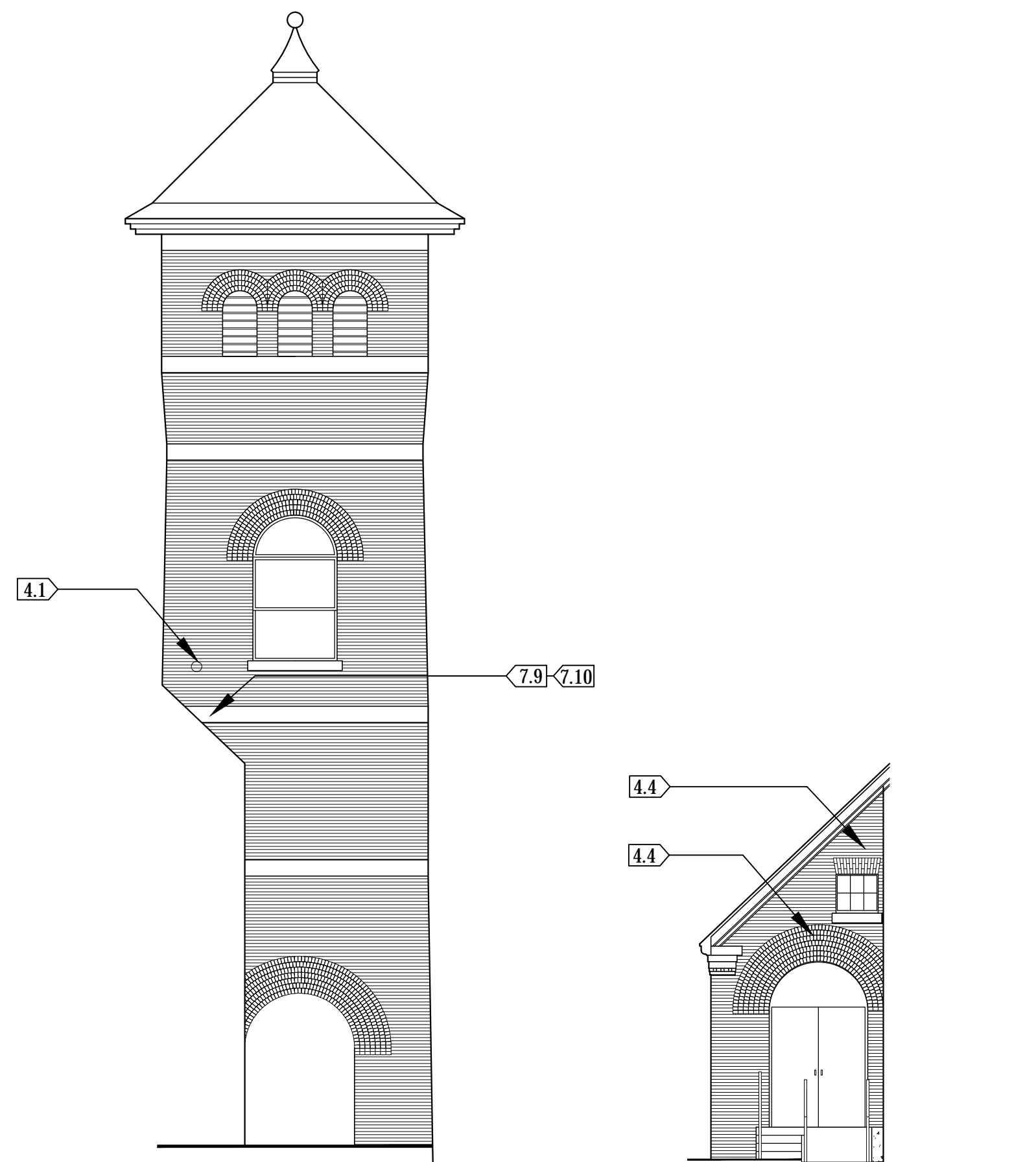




1 EAST ELEVATION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT



2 WEST ELEVATION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT



3 NORTHEAST ELEVATION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT

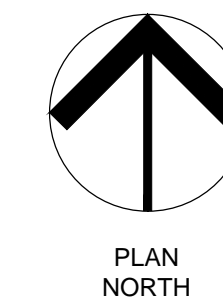
4 SOUTHEAST ELEVATION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT

Proposed Scope of Work for Exterior Envelope - New Work:

- 4.1 Rebuild brick masonry surrounding projecting roof drain at north wall face roof sheathing with in-kind materials.
- 4.2 Perform isolated repointing of selected wall areas on all three exposed sides.
- 4.3 Rebuild and/or repoint spandrel panels between masonry openings of windows.
- 4.4 Repair stepped crack in arch over entry doors to shelter and sanctuary.
- 4.5 Install bricks in holes made for HVAC condenser lines.
- 4.6 Repoint brick cornice along south wall.
- 4.7 Rake-out vertical joints of each steel buttress and fill with structural grout.
- 4.8 Rebuild chimney using salvaged brick to match original height.
- 4.9 Reinstall stone masonry cap detail.
- 4.10 Repoint remainder of brick masonry with mortar color to match existing.
- 4.11 If chimney flue is unused, cap chimney with weighted bluestone cap
- 4.12 Rebuild chimney to match original height; match cap detail.

- 4.13 If flue is unused, cap chimney with weighted bluestone cap.
- 5.1 Sandblast vertical steel buttresses and repaint.
- 7.1 Cover exposed, existing roof sheathing with roofing felt underlayment.
- 7.2 Cover felt underlayment with adhesive waterproofing membrane.
- 7.3 Provide new red copper valley flashing; provide tapered open valleys.
- 7.4 Reinstall salvaged slate shingles with new shingles in matching color, as required.
- 7.5 Provide new red copper ridge flashing at both cross gables.
- 7.6 Replace any deteriorated wood framing and sheathing at existing crickets where tower wall meets roof.
- 7.7 Cover existing and new roof sheathing with roofing felt underlayment.
- 7.8 Cover felt underlayment with adhesive waterproofing membrane.
- 7.9 Turn-up adhesive waterproofing a Ya MUYa bja i a ; I UUM HbI masonry walls.
- 7.10 Provide new red copper base and W bNYZgJh /fYhfbidkUg%I minimum.

- 7.11 Reinstall salvaged slate shingles with new shingles in matching color, as required.
- 7.12 Provide new aluminum downspouts painted to match patinated copper.
- 7.13 Install copper flashing at lower edge of round window.
- 7.14 Replace missing downspouts at three locations, each side.
- 7.15 Provide new roofs and flashing over both bulkheads.
- 7.16 Clean-out cast iron receivers and interior drains of all downspouts.
- 7.17 Provide lead flashing at tops of all four steel buttresses.
- 7.18 Provide new red copper base flashing, edge flashing, and built-in gutters.
- 8.1 Replace louvered vents in all openings with glazed window sashes.
- 8.2 Replace sheet metal covering with laminated glass in wood frame.
- 8.3 Replace all existing storm windows, all building elevations, including arched transoms.
- 8.4 Remove and replace broken glass in storm windows.



Seal:

Consultant:

ISSUE / REVISIONS:

Date: 2017.11.8

Drawn by:

Checked by:

Project Number:

1705.00

SOMERVILLE HISPANIC CHURCH
39 CROSS STREET, SOMERVILLE, MA 02145

PROJECT 1A
ELEVATIONS - NEW WORK

A201



PHOTO 1/DRAWING D-200: Damaged flashing and gutter adjacent to cross-gable at the north elevation.



PHOTO 2/DRAWING D-201: Damaged masonry and projecting roof drain at northeast elevation.



PHOTO 3/DRAWING D-200: Missing roof rake return and gutter.



PHOTO 4/DRAWING D-200: Note different gutter and corbel heights at south elevation above bulkhead.



PHOTO 5/DRAWING D-201: Missing roof rake return at west elevation, (left hand side).



PHOTO 6/DRAWING D-200: Asphalt sealant stained masonry below circular window.

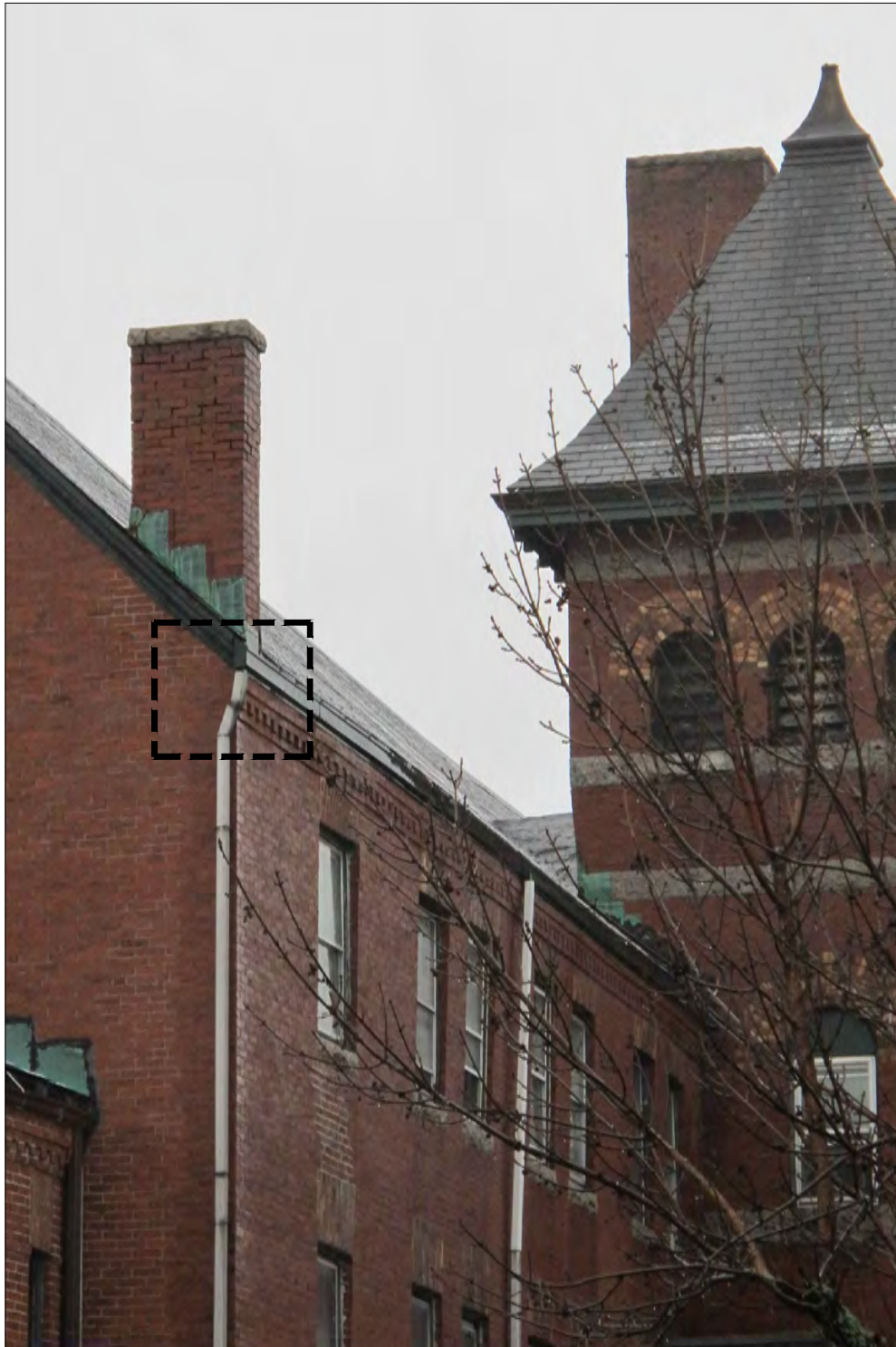


PHOTO 7/DRAWING D-201: Rake to gutter transition at northeast corner of building.



PHOTO 8/DRAWING D-201: Missing roof rake return at west elevation, (right hand side).



PHOTO 9/DRAWING D-201: Missing roof rake return at southeast elevation.



PHOTO 10/DRAWING D-201: Asphalt roofing sealer and step flashing at northeast elevation.

Seal:

Consultant:

ISSUE / REVISIONS:

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Date: 2017.11.8

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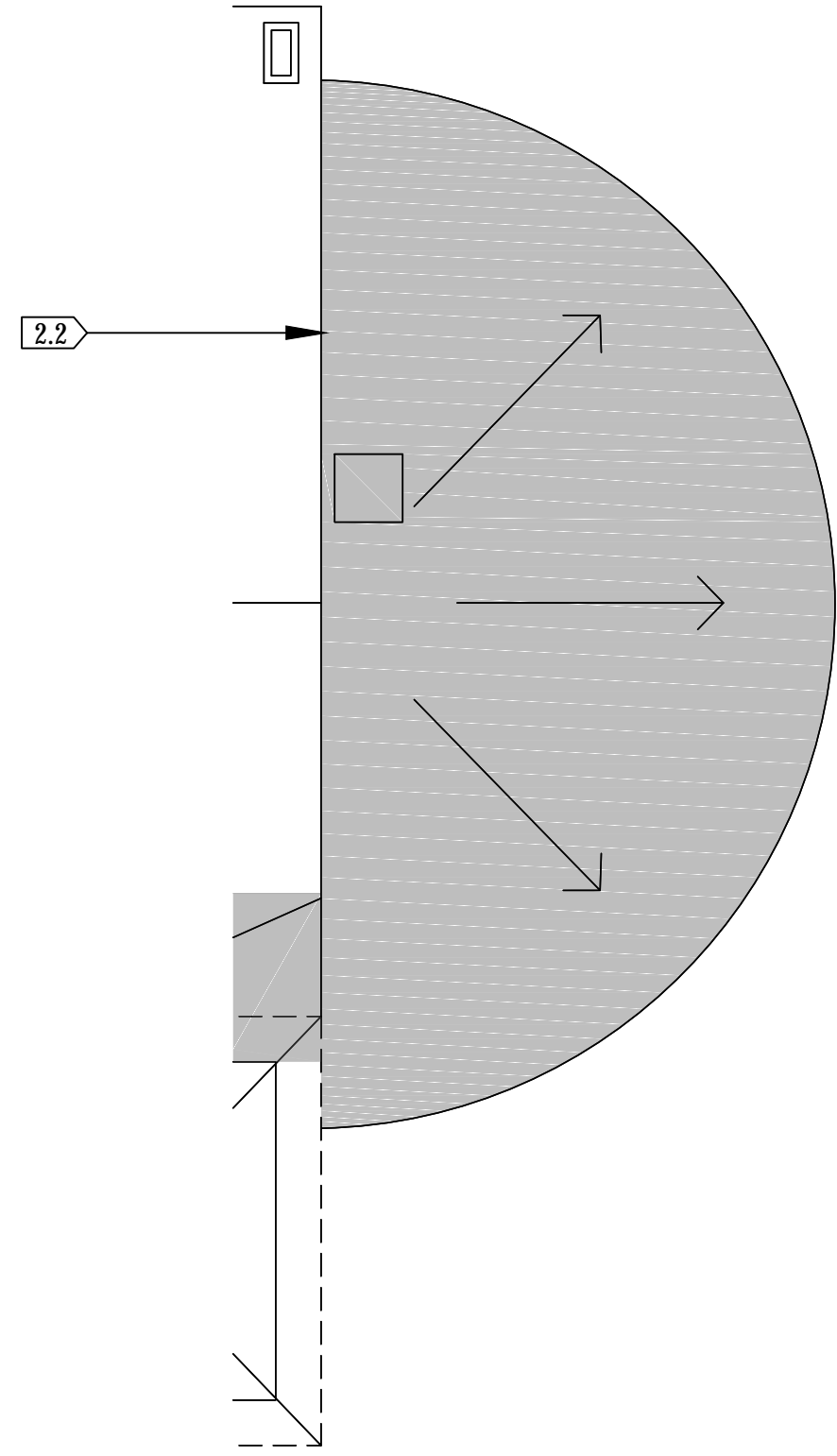
Project Number:

1705.00

SOMERVILLE HISPANIC CHURCH
89 CROSS STREET, SOMERVILLE, MA 02145

PROJECT 1A
EXISTING CONDITIONS PHOTOGRAPHS

A500



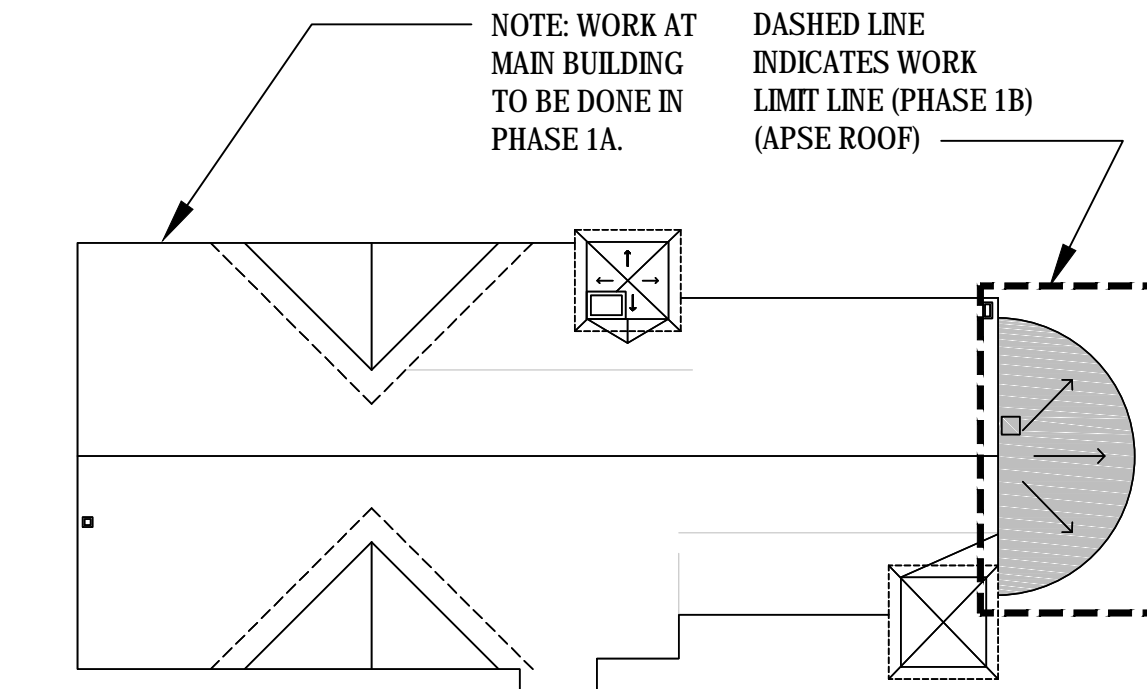
1 APSE ROOF PLAN - DEMOLITION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT



2 PHOTOGRAPH OF EXISTING APSE ROOF

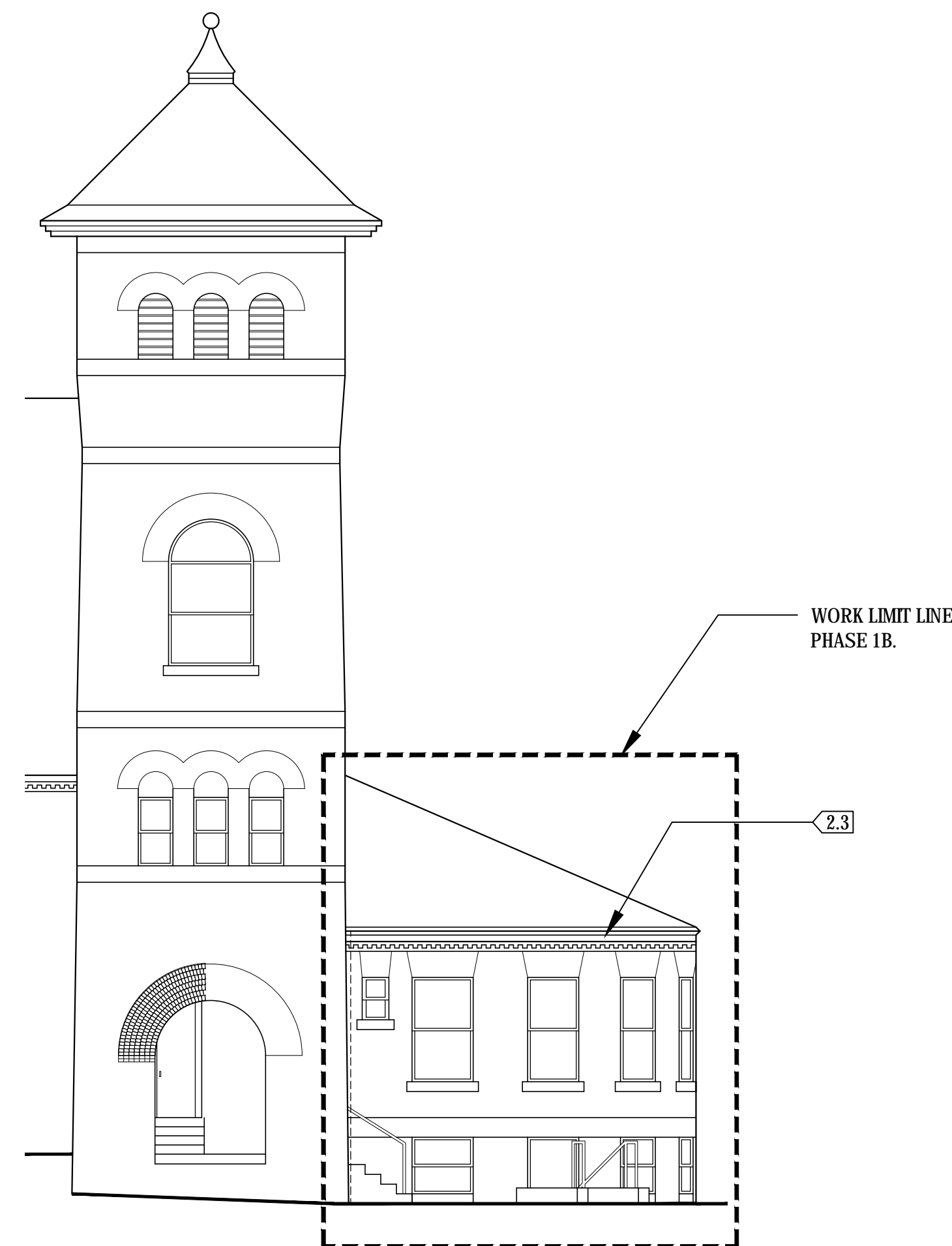
**Proposed Scope of Work for
Exterior Envelope - Demolition**
Notes:

- 2.1 Remove all existing slate shingles.
- 2.2 Remove all existing copper base and counter-flashing at abutting walls.
- 2.3 Remove all existing eave flashing and adjacent copper gutters and downspouts.
- 2.4 Replace any deteriorated wood roof sheathing with in-kind materials.
- 2.5 Remove metal covering at window.

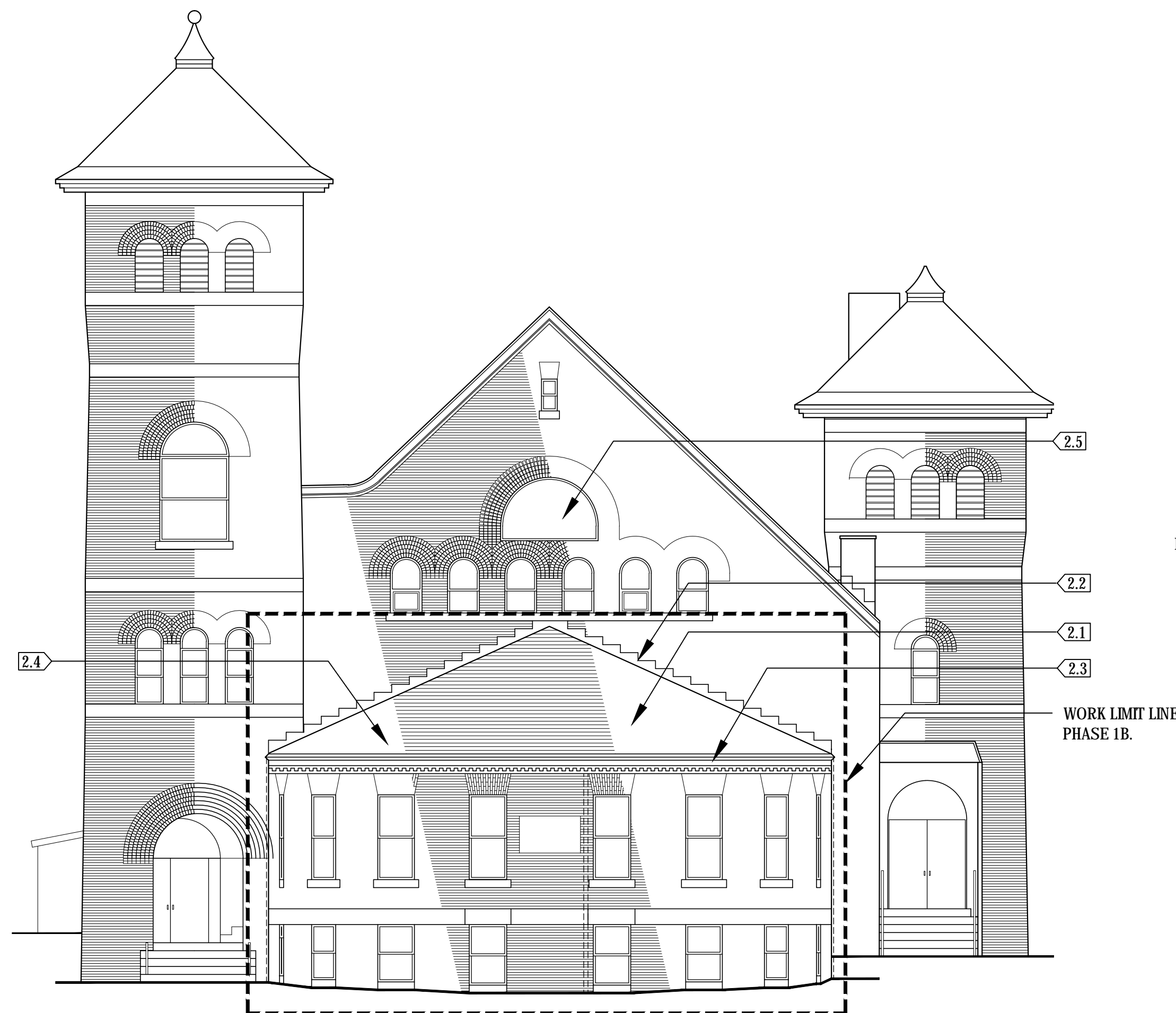


ROOF PLAN - KEY
Scale: 1/32"=1'-0" @ 24 X 36 PRINT

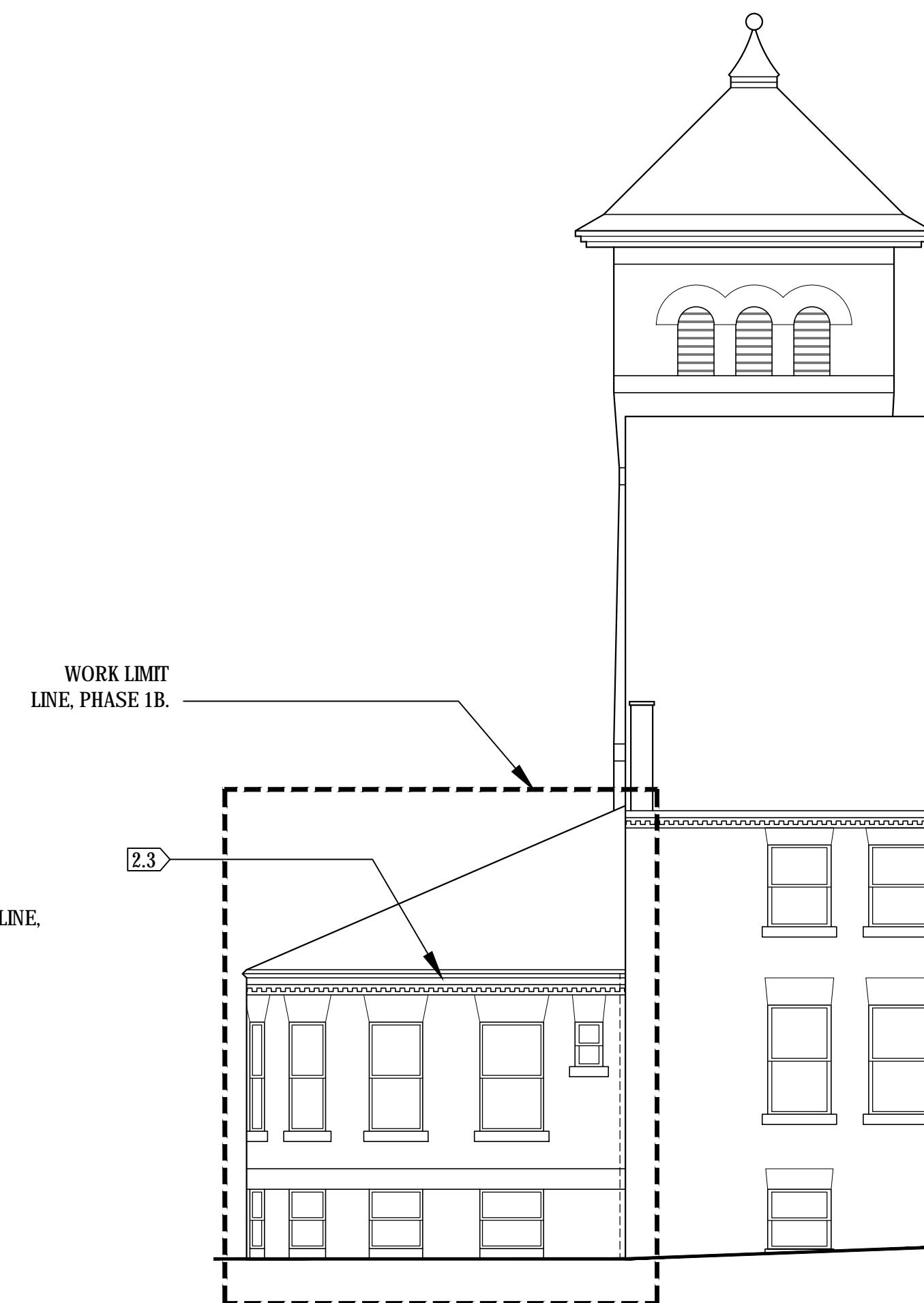
DEMOLITION ROOF PLAN KEY:



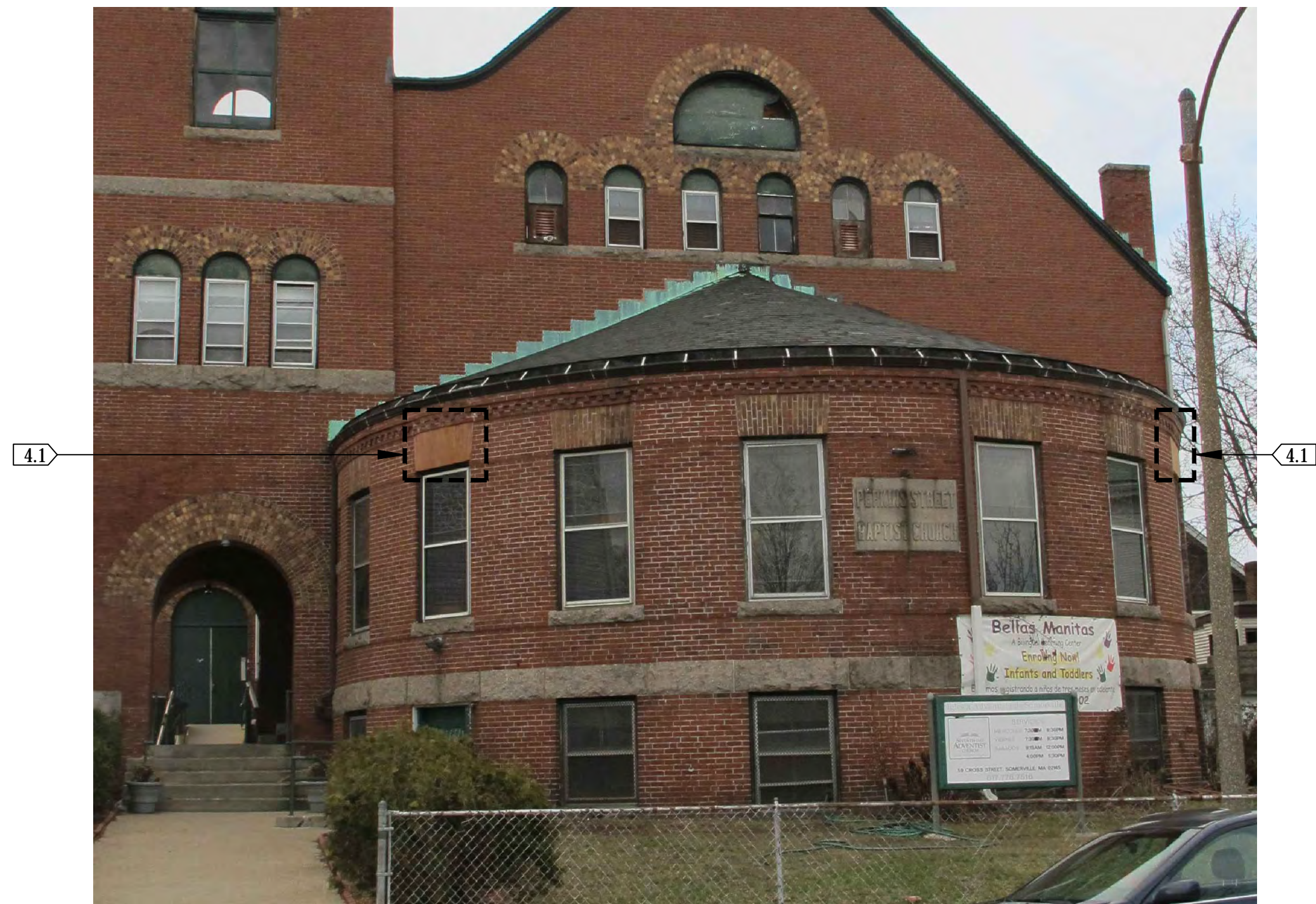
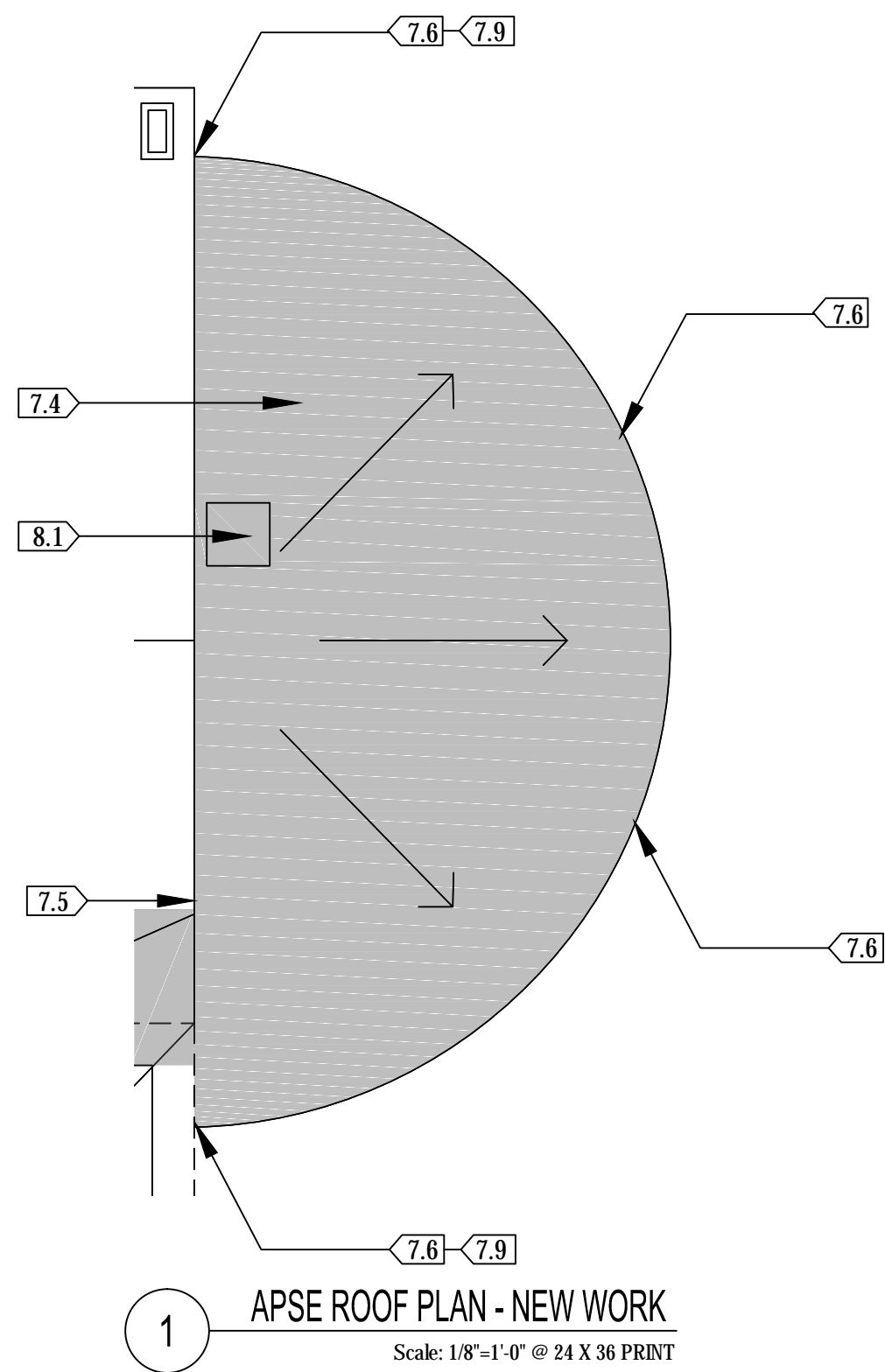
2 SOUTH ELEVATION AT APSE - DEMOLITION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT



3 EAST ELEVATION AT APSE - DEMOLITION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT

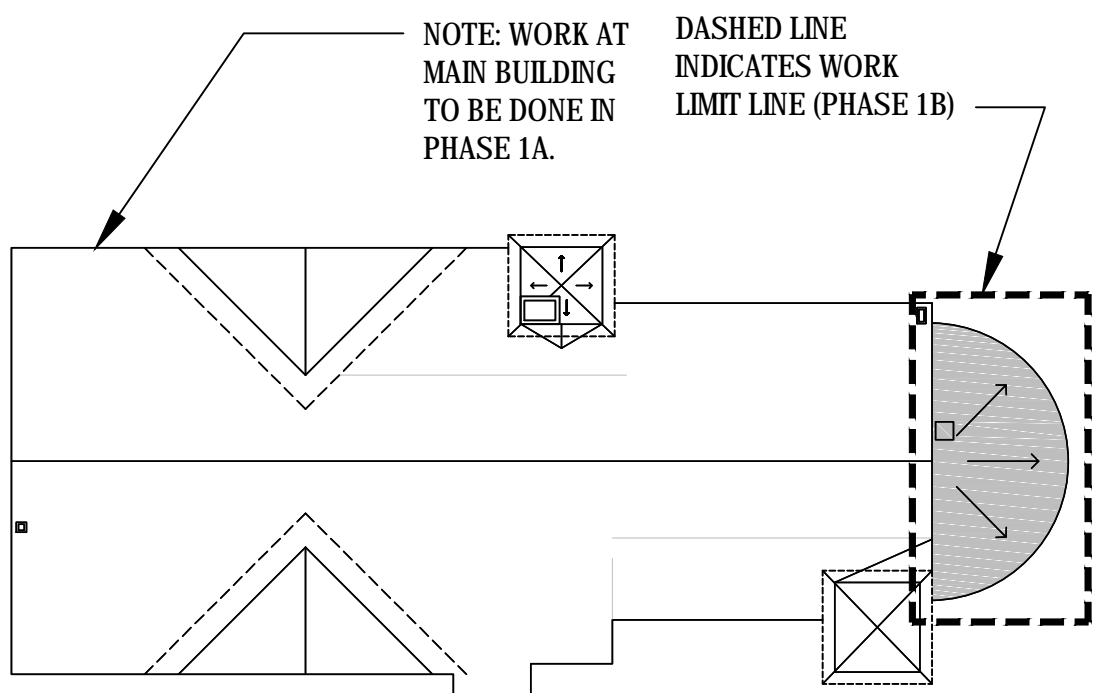


4 NORTH ELEVATION AT APSE - DEMOLITION
Scale: 1/8"=1'-0" @ 24 X 36 PRINT



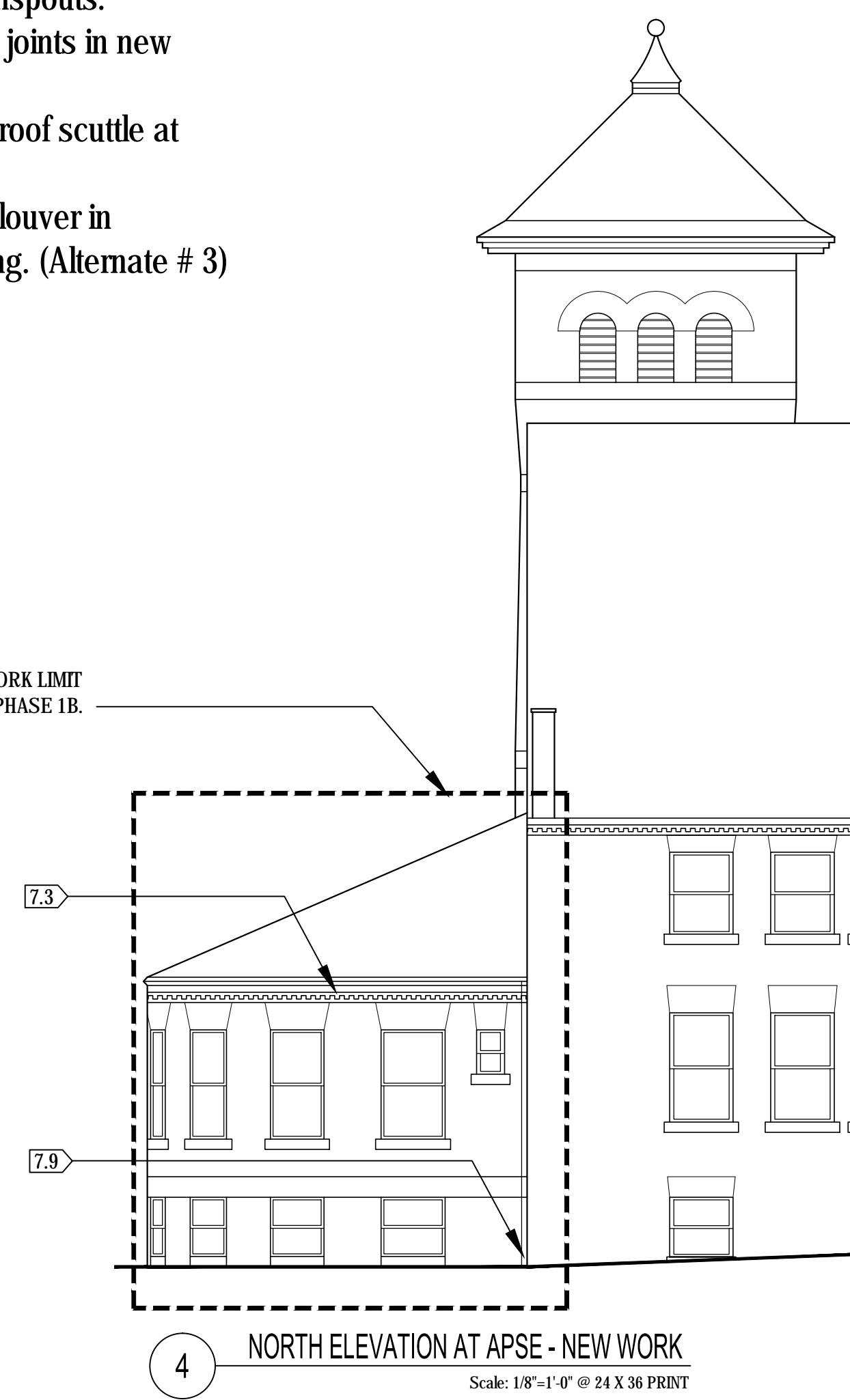
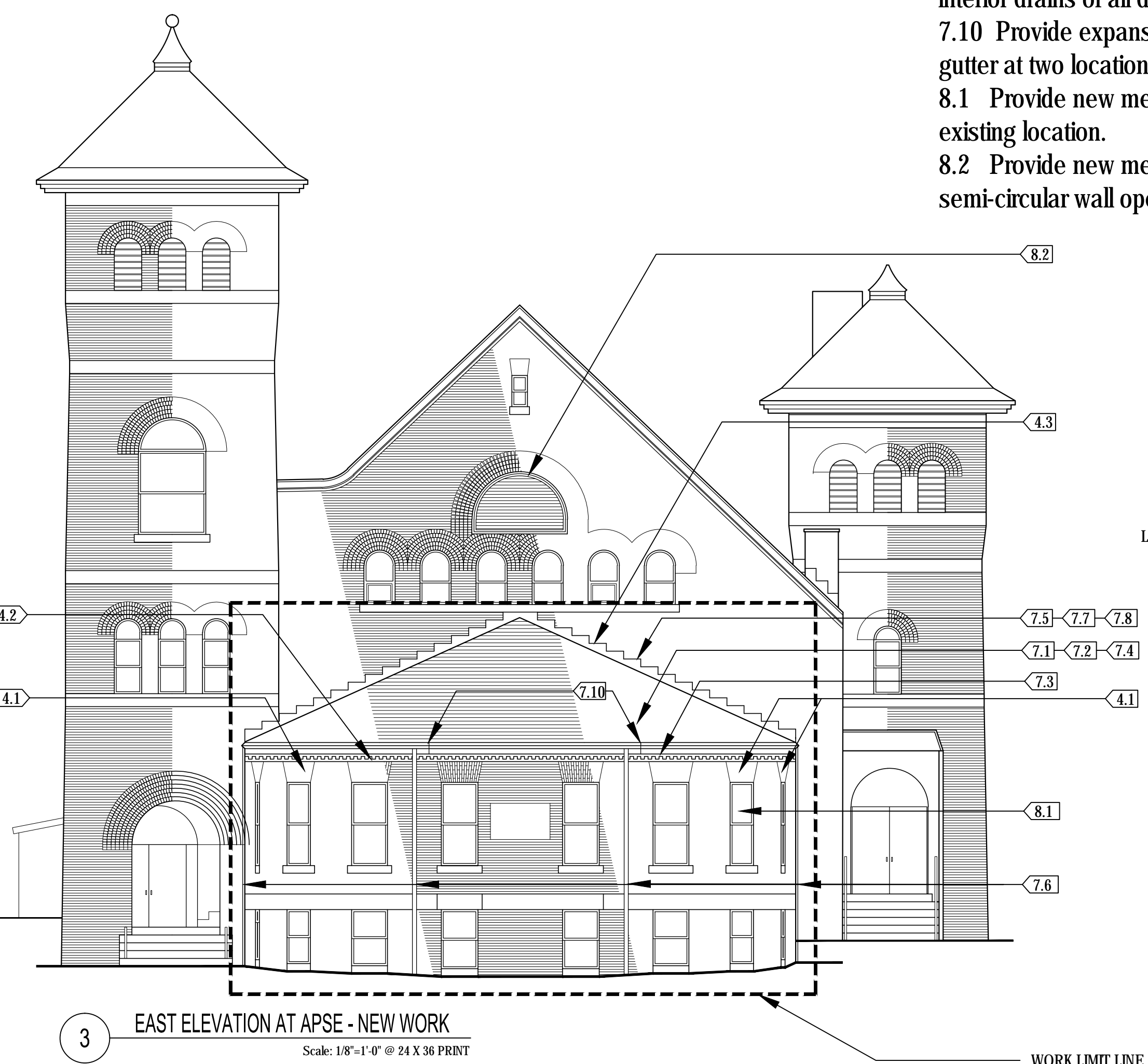
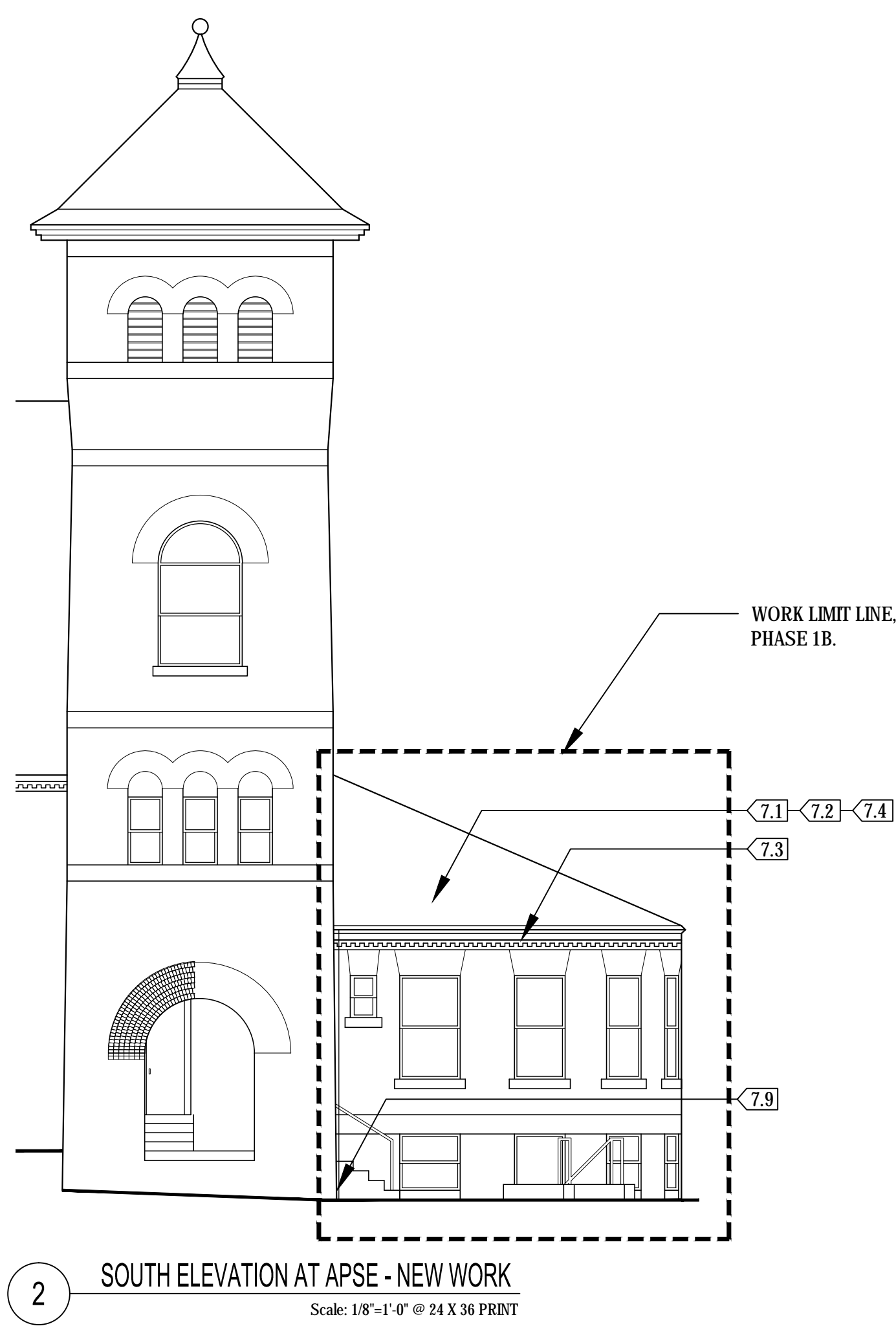
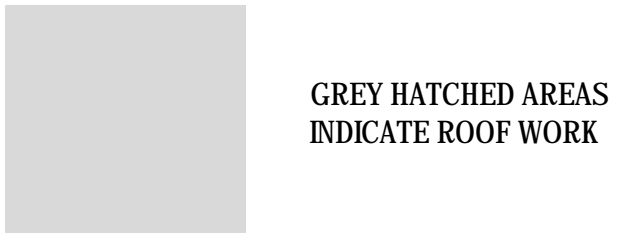
Proposed Scope of Work for Exterior Envelope - New Work:

- 4.1 At three window openings, replace flat arch bricks with new bricks of correct color and size. Match original flat arch appearance. (Alternate # 1)
- 4.2 Perform deep cutting and repointing of two brick courses below roof gutter at building perimeter. (Alternate # 2)
- 4.3 Remove roofing tar/asphalt from brick masonry at step flashing.
- 7.1 Cover existing roof sheathing with roofing felt underlayment.
- 7.2 Cover felt underlayment with adhesive waterproofing membrane (100% coverage).
- 7.3 Provide new red copper base flashing, edge flashing and built-in gutters.
- 7.4 Provide new slate shingle roof.
- 7.5 Provide new red copper base and flashing/counterflashing at abutting walls.
- 7.6 Provide new aluminum downspouts painted to match patinated copper.
- 7.7 Turn up adhesive waterproofing membrane minimum 8" at abutting masonry walls.
- 7.8 Provide new red copper base and counter-flashing; return up walls 12" minimum.
- 7.9 Clean out cast iron receivers and interior drains of all downspouts.
- 7.10 Provide expansion joints in new gutter at two locations.
- 8.1 Provide new metal roof scuttle at existing location.
- 8.2 Provide new metal louver in semi-circular wall opening. (Alternate # 3)



3 ROOF PLAN - KEY
Scale: 1/32"=1'-0" @ 24 X 36 PRINT

ROOF PLAN KEY - NEW WORK:



Seal:

Consultant:

ISSUE / REVISIONS:

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SOMERVILLE HISPANIC CHURCH
39 CROSS STREET, SOMERVILLE, MA 02145

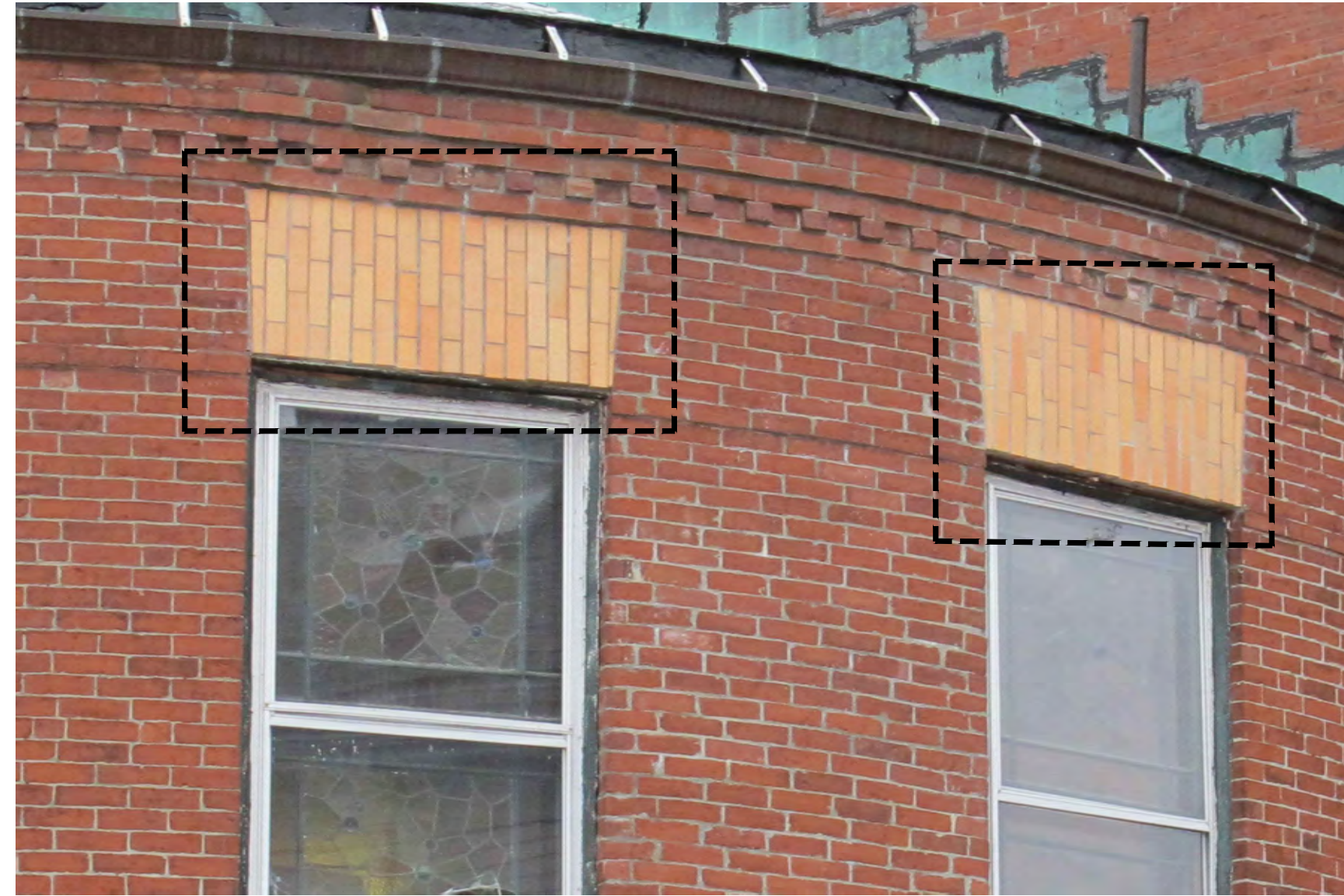
PROJECT 1B - APSE
PLANS AND ELEVATIONS - NEW WORK



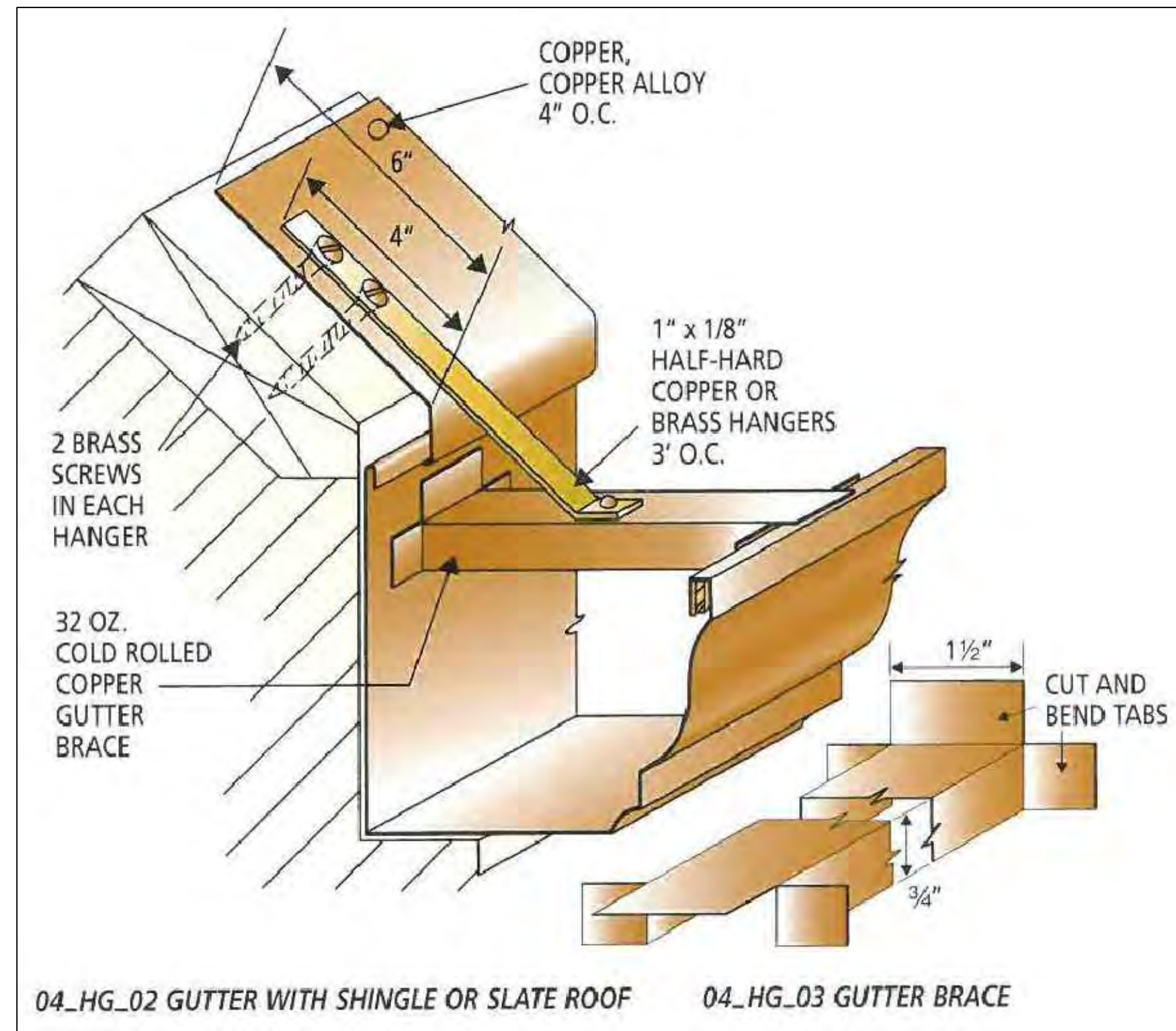
1 APSE ROOF



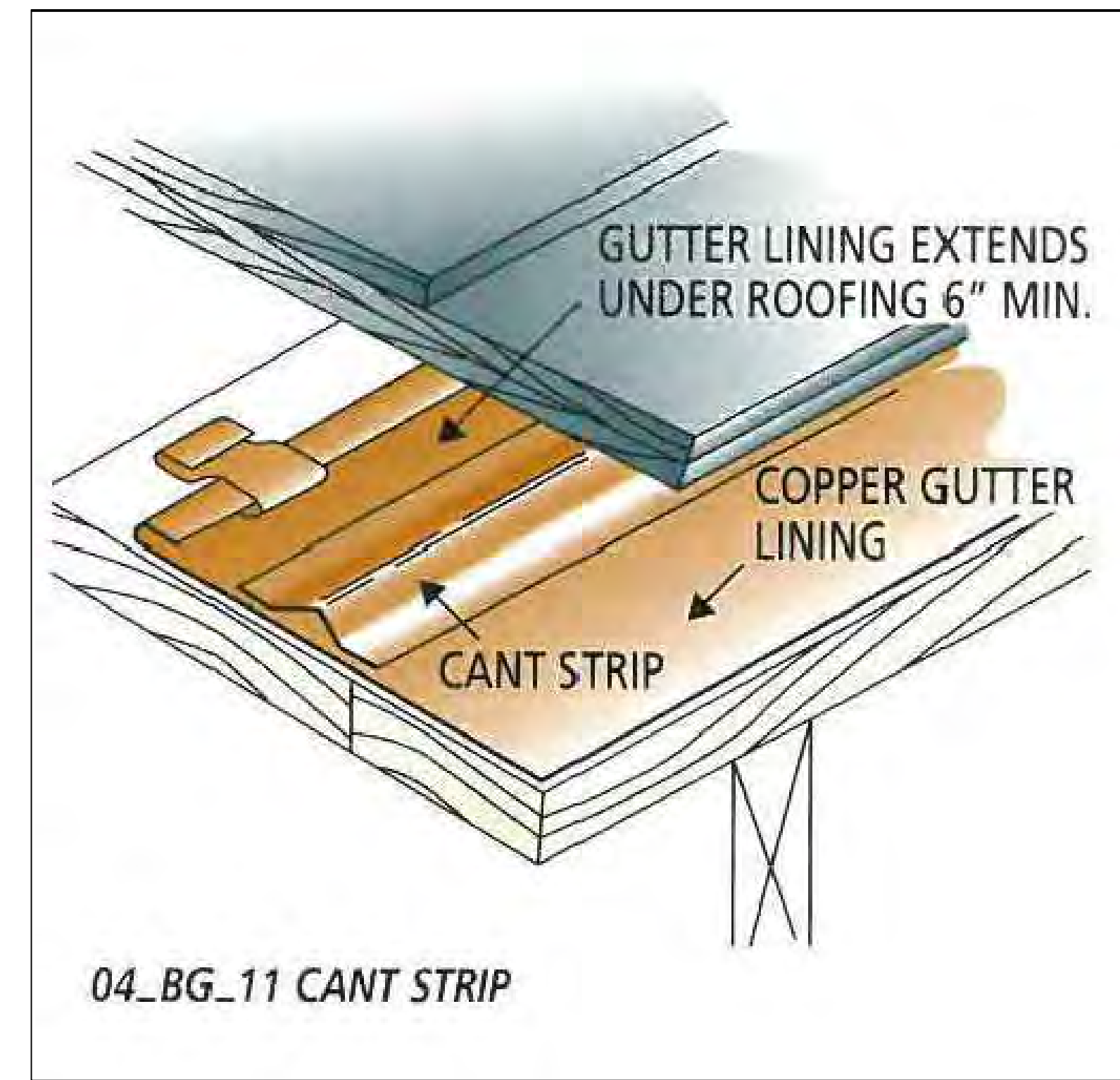
2 MISMATCHED BRICK AT FLAT ARCH - SOUTH ELEVATION (AREA INDICATED)



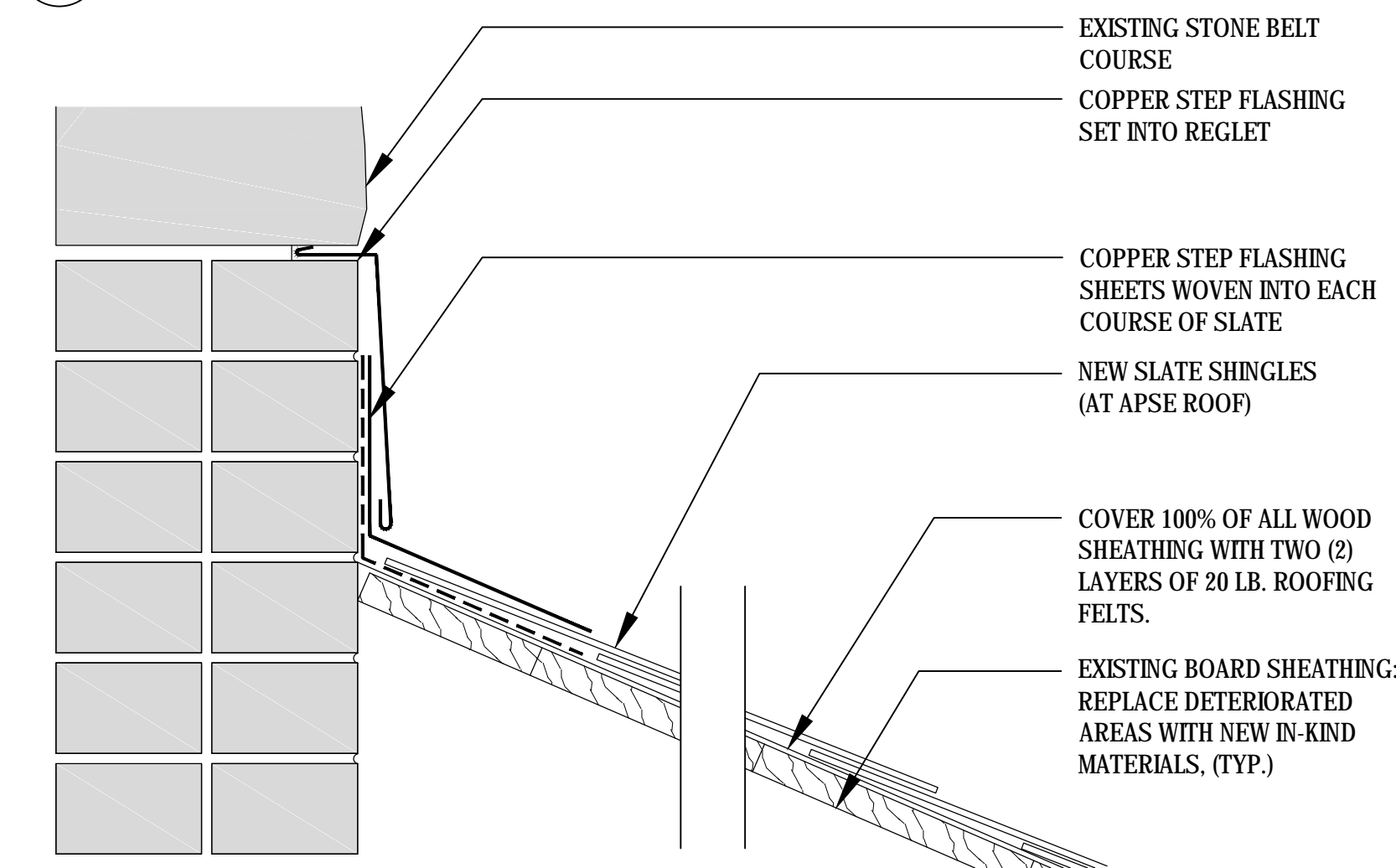
3 MISMATCHED BRICK AT FLAT ARCH - NORTH ELEVATION (AREA INDICATED)



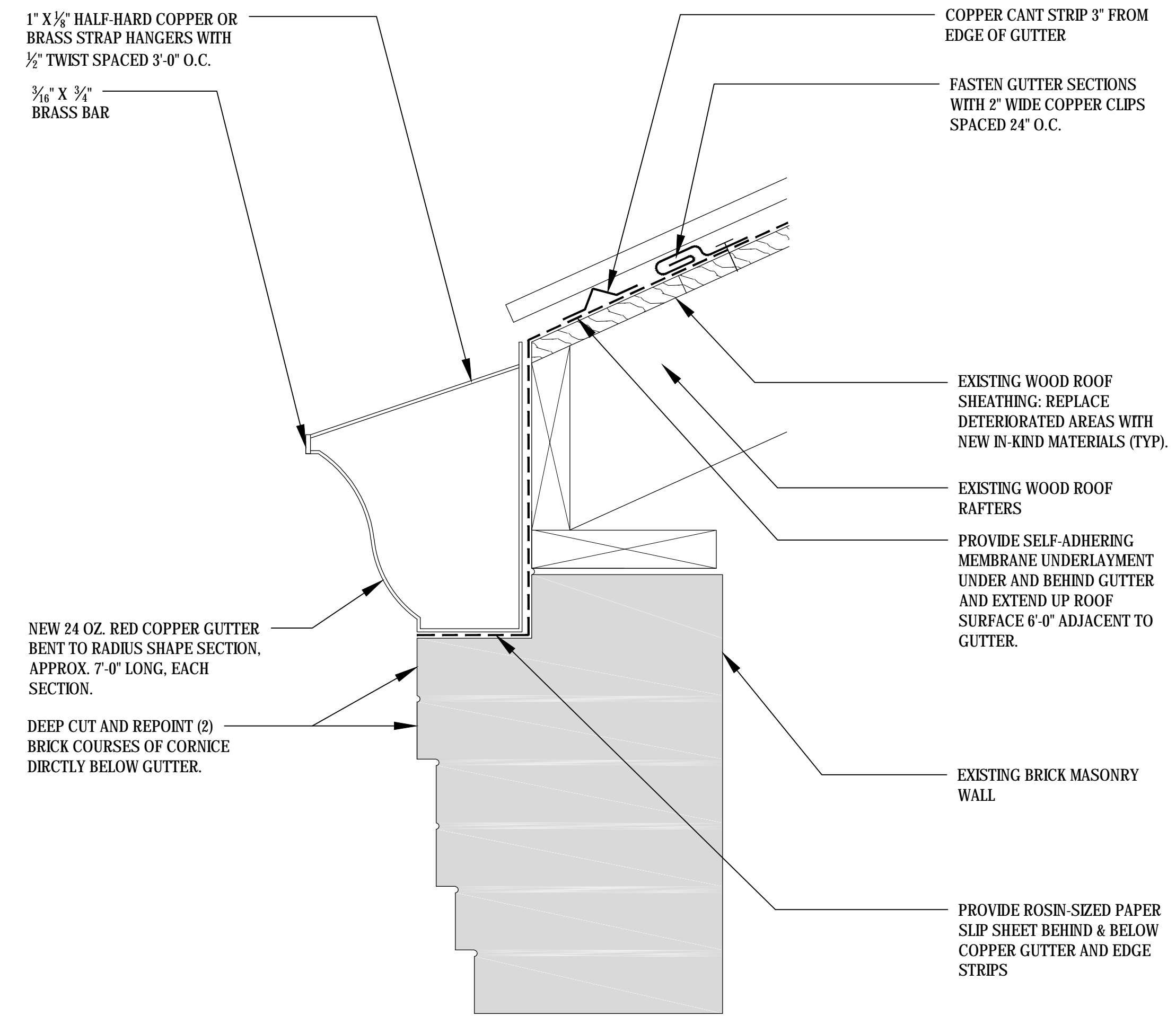
4 GUTTER WITH SLATE ROOF
NOT TO SCALE



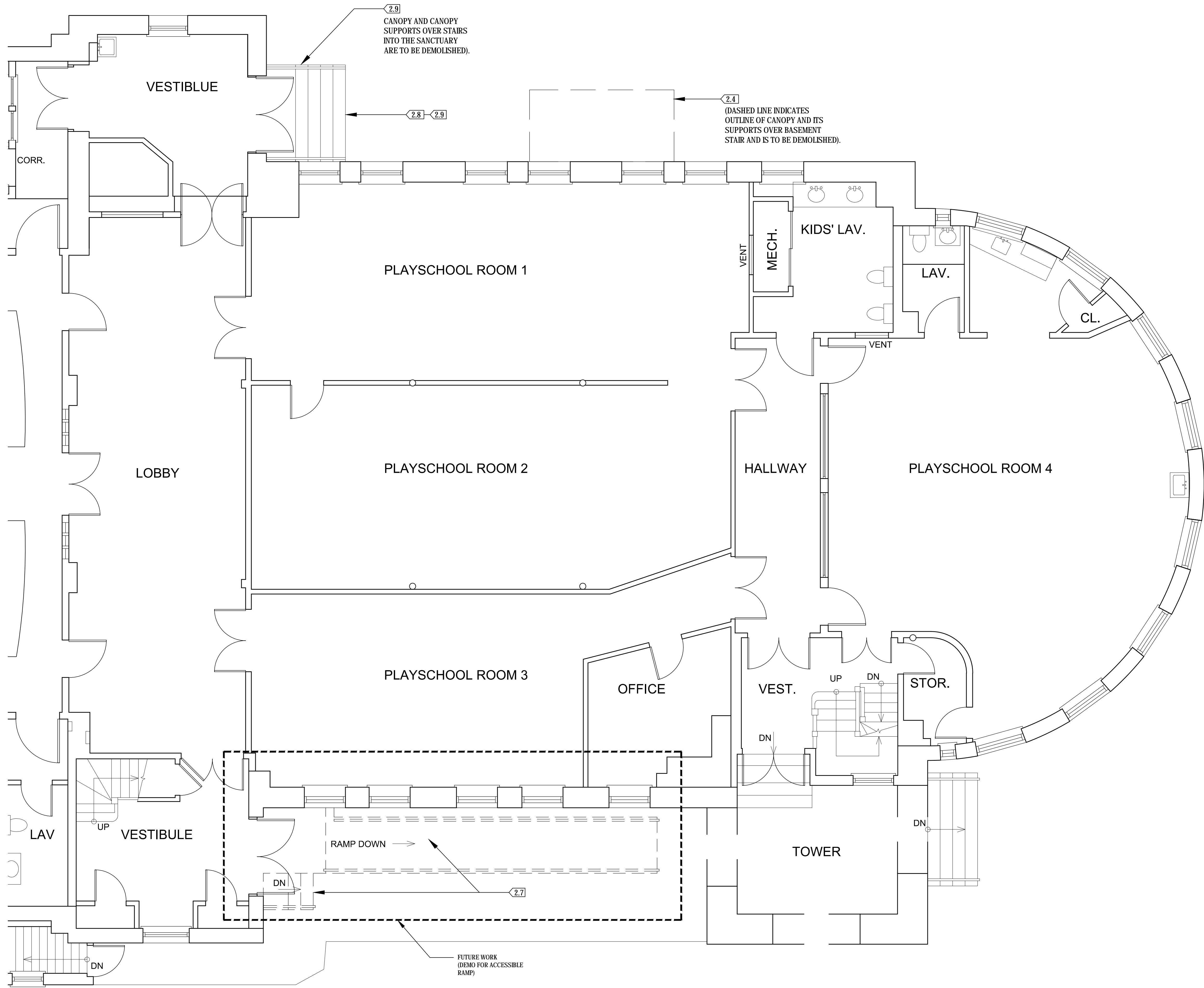
5 CANT STRIP DETAIL
NOT TO SCALE



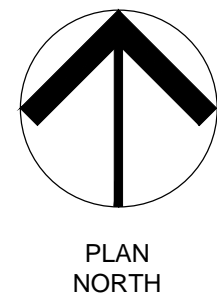
6 FLASHING DETAIL - APSE ROOF TO MAIN BUILDING
Scale: 3"=1'-0" @ 24 X 36 PRINT



7 RADIUS GUTTER DETAIL
Scale: 3"=1'-0" @ 24 X 36 PRINT

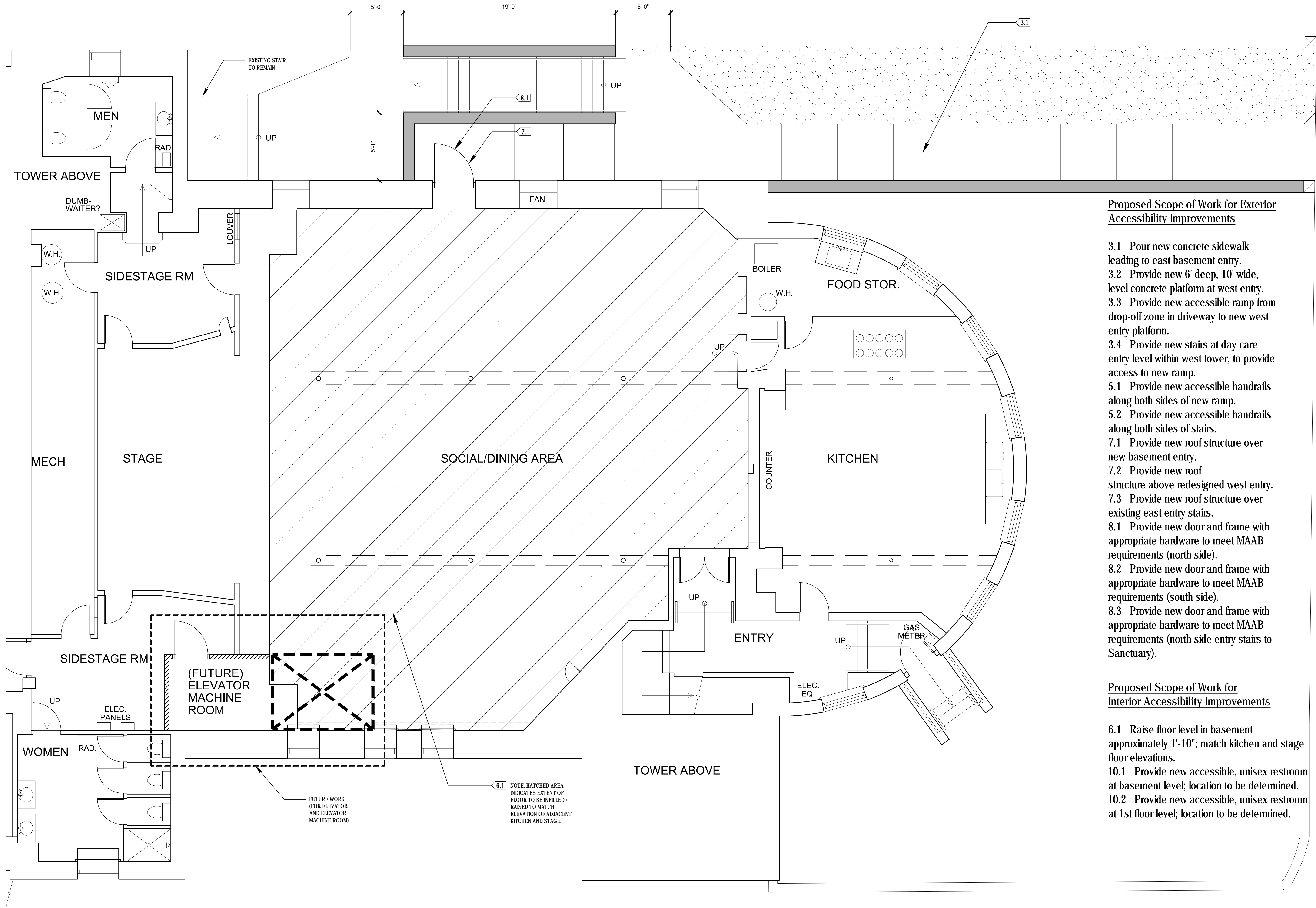


1 DEMOLITION PLAN - FIRST FLOOR
Scale: 1/4"=1'-0" @ 24 X 36 PRINT



- Proposed Scope of Work for Exterior Accessibility Improvements**
- 2.1 Demolish existing concrete sidewalk to east basement entry from south public sidewalk.
 - 2.2 Demolish existing concrete stairs to basement entry from east sidewalk.
 - 2.3 Retaining wall for existing entry stairs to basement is to be demolished.
 - 2.4 Demolish roof over existing east basement entry.
 - 2.5 Excavate site for new sidewalk leading to east basement entry.
 - 2.6 Renovate existing door opening to accommodate required grade changes.
 - 2.7 Demolish existing concrete ramp and stairs at west entry to sanctuary and homeless shelter.
 - 2.8 Not used.
 - 2.9 Demolish roof over existing east sanctuary entry
 - 2.10 Remove and salvage (2) granite steps and (2) granite bollards at existing sidewalk.
 - 2.11 Remove and salvage existing granite curb and pavers.

SPENCER & VOGT GROUP architecture preservation	
1 Thompson Square, Suite 504 Charlestown, MA 02129 617.227.2675 www.spencervogt.com	
Architect:	
Seal:	
Consultant:	
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SOMERVILLE HISPANIC CHURCH 39 CROSS STREET, SOMERVILLE, MA 02145	PROJECT 2 FIRST FLOOR DEMOLITION PLAN
D101	



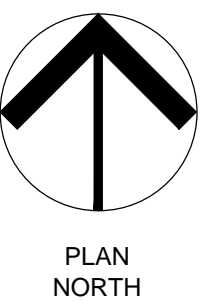
Proposed Scope of Work for Exterior Accessibility Improvements

- 3.1 Pour new concrete sidewalk leading to east basement entry.
- 3.2 Provide new 6' deep, 10' wide, level concrete platform at west entry.
- 3.3 Provide new accessible ramp from drop-off zone in driveway to new west entry platform.
- 3.4 Provide new stairs at day care entry level within west tower, to provide access to new ramp.
- 5.1 Provide new accessible handrails along both sides of new ramp.
- 5.2 Provide new accessible handrails along both sides of stairs.
- 7.1 Provide new roof structure over new basement entry.
- 7.2 Provide new roof structure above redesigned west entry.
- 7.3 Provide new roof structure over existing east entry stairs.
- 8.1 Provide new door and frame with appropriate hardware to meet MAAB requirements (north side).
- 8.2 Provide new door and frame with appropriate hardware to meet MAAB requirements (south side).
- 8.3 Provide new door and frame with appropriate hardware to meet MAAB requirements (north side entry stairs to Sanctuary).

Proposed Scope of Work for Interior Accessibility Improvements

- 6.1 Raise floor level in basement approximately 1'-10"; match kitchen and stage floor elevations.
- 10.1 Provide new accessible, unisex restroom at basement level; location to be determined.
- 10.2 Provide new accessible, unisex restroom at 1st floor level; location to be determined.

1 NEW FLOOR PLAN - BASEMENT
Scale: 1/4"=1'-0" @ 24 X 36 PRINT



Architect:
SPENCER & VOGT GROUP
architecture preservation

1 Thompson Square, Suite 504
Charlestown, MA 02129
617.227.2675
www.spencervogt.com

Seal:

Consultant:

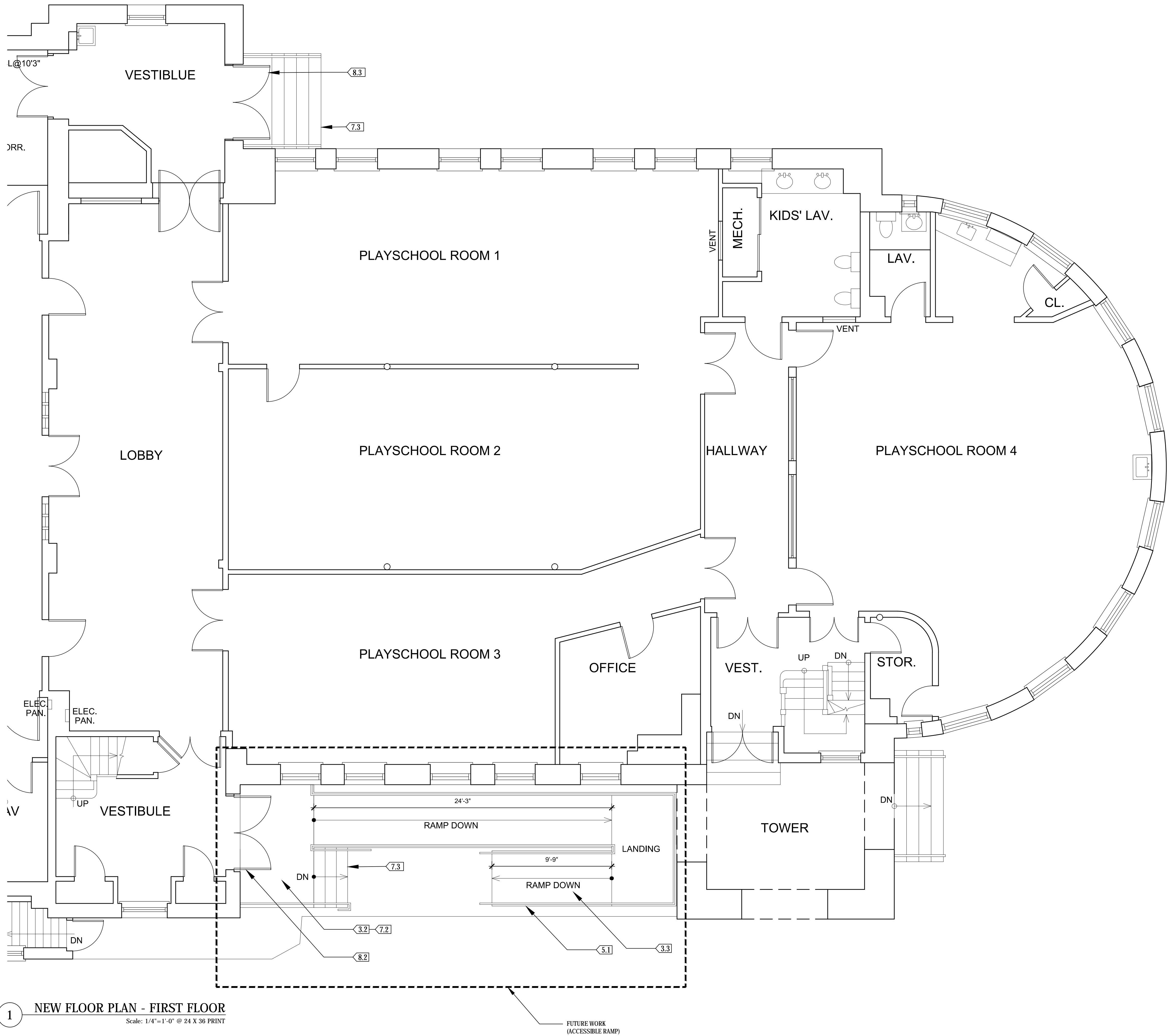
ISSUE / REVISIONS:

Date: 2017.11.8
Drawn by:
Checked by:
Project Number:
1705.00

SOMERVILLE HISPANIC CHURCH
39 CROSS STREET, SOMERVILLE, MA 02145

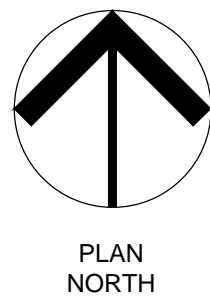
PROJECT 2
BASEMENT PLAN - NEW WORK

A100



1 NEW FLOOR PLAN - FIRST FLOOR
Scale: 1/4"=1'-0" @ 24 X 36 PRINT

FUTURE WORK
(ACCESSIBLE RAMP)



Proposed Scope of Work for Exterior
Accessibility Improvements

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Proposed Scope of Work for
Interior Accessibility Improvements

- 6.1 Raise floor level in basement approximately 1'-10"; match kitchen and stage floor elevations.
- 10.1 Provide new accessible, unisex restroom at basement level; location to be determined.
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89 CROSS STREET, SOMERVILLE, MA 02145

PROJECT 2
FIRST FLOOR PLAN - NEW WORK

A101



PHOTO 1: Existing stair where new accessible entrance is to be located. Note: stairs up to Sanctuary beyond.



PHOTO 2: Existing granite stair to remain at Sanctuary entrance.



PHOTO 3: Existing Social / Dining area at basement. The existing floor elevation will be raised to match adjacent Kitchen and Stage floor elevations.



PHOTO 4: Existing area between Somerville Hispanic Church and neighbor's property. Note: new walkway and accessible entrance to be built at this location.



PHOTO 5: Existing door and stairs at Sanctuary entrance.



PHOTO 6: Existing Social / Dining room in basement. Floor to be raised to match the elevation of the stage area beyond.